



For Board of Variance

February 10, 2025

Our file: 01-0340-20/03-017/1

Doc #: 5596663.v2

To: Manager Legislative Services
From: Manager Building Permits - Approvals

Subject: **Brief to Board of Variance - February 25, 2025**

For: **Board of Variance**

ITEM #1

Applicant No.:	24 124405 BV
Site Address:	3717 Lincoln Avenue
Zoning:	RS-2 One-Family Suburban Residential
Environmentally Sensitive Lands:	Yes
ROW/Covenants:	No
Legal Description:	Lot 48 Sections 5 and 8 Township 40 NWLD Plan NWP2320

Proposal

This application proposes to vary the minimum required height from 11 metres to 14.23 metres, to permit a Single Family Dwelling. A Building Permit application was submitted on October 1, 2024 for a single family dwelling with a secondary suite and a barn.

The property is at the boundary of Coquitlam and Port Coquitlam. This property currently consists of a mobile home, temporary covered areas, sitting areas, storage areas, and a small building with fencing inhabited by llamas, is located in the Northeast Coquitlam Area Plan and is designated Agricultural in the Citywide Official Community Plan (Attachment 2). The property is located within the Agricultural Land Reserve (ALR).

The applicant has indicated that the current height restrictions for single family dwelling structures in the RS-2 zone present a hardship due to the limitations imposed by the floodplain. To meet the mandatory flood protection requirements, the habitable area must be above 6.44 m (above mean sea level datum). The Zoning Bylaw defines height as measured from the lower of existing or finished grade to the highest peak of the roof, resulting in the 11-metre height maximum being measured from the existing lot grade. Combined with the proposed steep pitched roof, this results in an overall height of 14.23 m from existing grade, which exceeds the maximum allowable height of 11 metres by 3.23 m.

ITEM #1 cont'd

Variance Requested

The applicant requests the following variance for the Board's consideration:

Pursuant to s.540 of the *Local Government Act*, the provisions of the *City of Coquitlam Zoning Bylaw No. 3000, 1996* as amended is requested to be varied and supplemented as follows:

Part 10, One-Family Residential Zones, Section 1002(10)(a), the height for one-family residential use must not exceed 11.0 metres for buildings and structures having a roof slope with a pitch of 3 in 12 or greater for an area of at least 80% of all roof surfaces.

**Development Proposal
Building Height – Section 1002(10)(a)**

Height	Bylaw Requirement	Proposed	Variance Required
Buildings and structures for one-family residential use having a roof slope with a pitch of 3 in 12 or greater for an area of at least 80% of all roof surfaces	11.0 metres	14.23 metres	Yes, variance of 3.23 metres

Considerations

Based on information submitted with the application, and staff review of the requested variances, matters that the Board may wish to take into account when considering their decision include:

- The RAPR report, currently pending approval from the Province, identifies a required front setback of 30.38. While one side of the one-family dwelling meets this requirement, the east side encroaches into the front setback by 20 cm.
- The RAPR report confirms that the barn is located outside of the 5 m Streamside Protection Environment Area (SPEA) from the western ditch. However, the Zoning Bylaw stipulates a 15 m setback for agricultural use.
- The site plan does not identify designated off-street parking for the secondary suite.

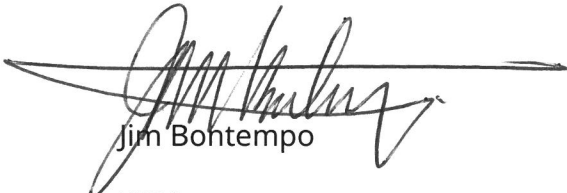
The above considerations will be addressed during the building permit review process and may require the applicant to revise the siting of the proposed structures.

In accordance with the *Local Government Act*, the Board will also want to consider the hardship as expressed by the applicant and any input received from the neighbours.

ITEM #1 cont'd

If the Board grants this variance, the applicant will be required to comply with all other Zoning Bylaw requirements and satisfy all British Columbia Building Code requirements.

If the Board declines this application, the applicant could apply for a Development Variance Permit.

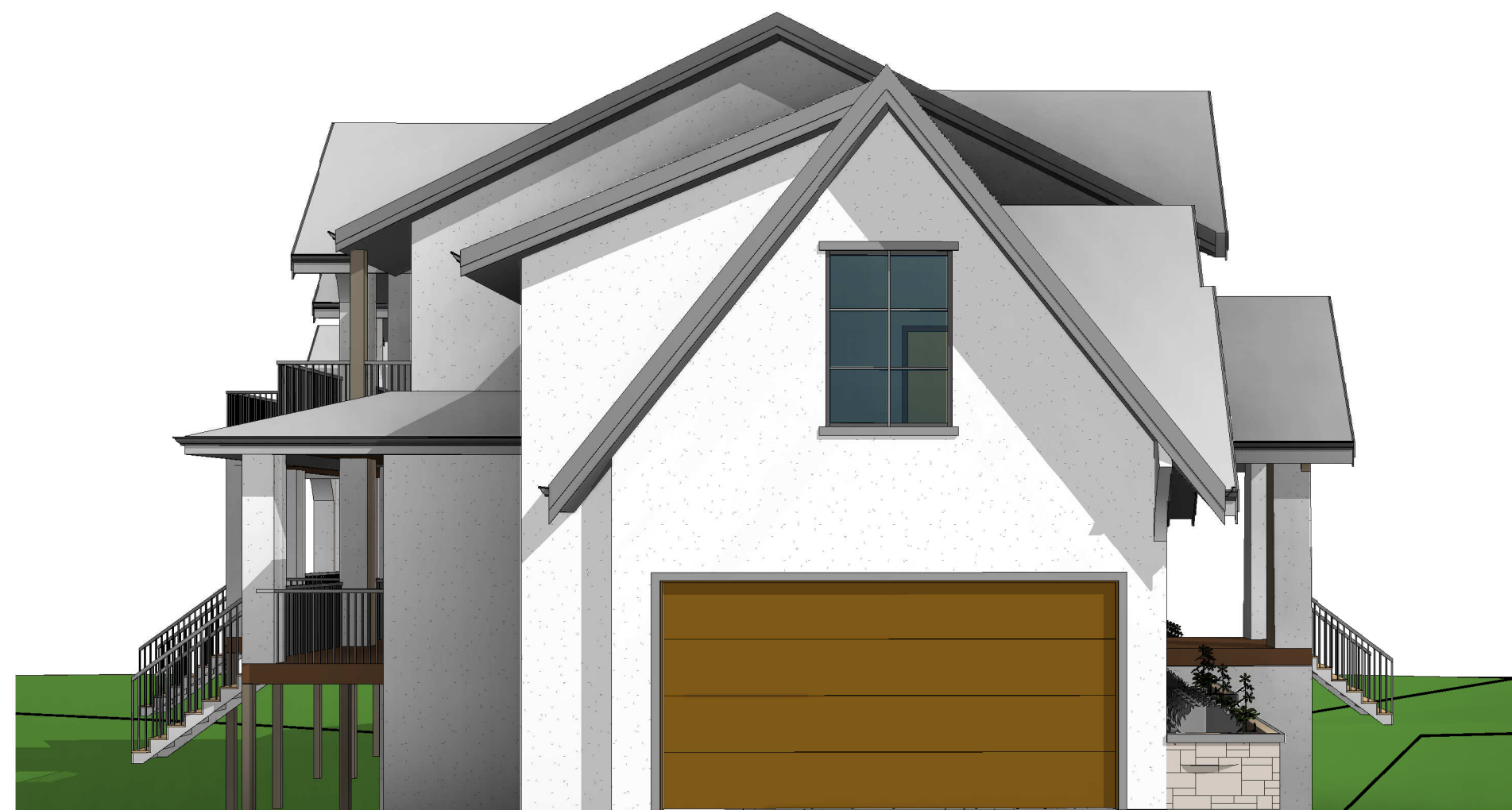
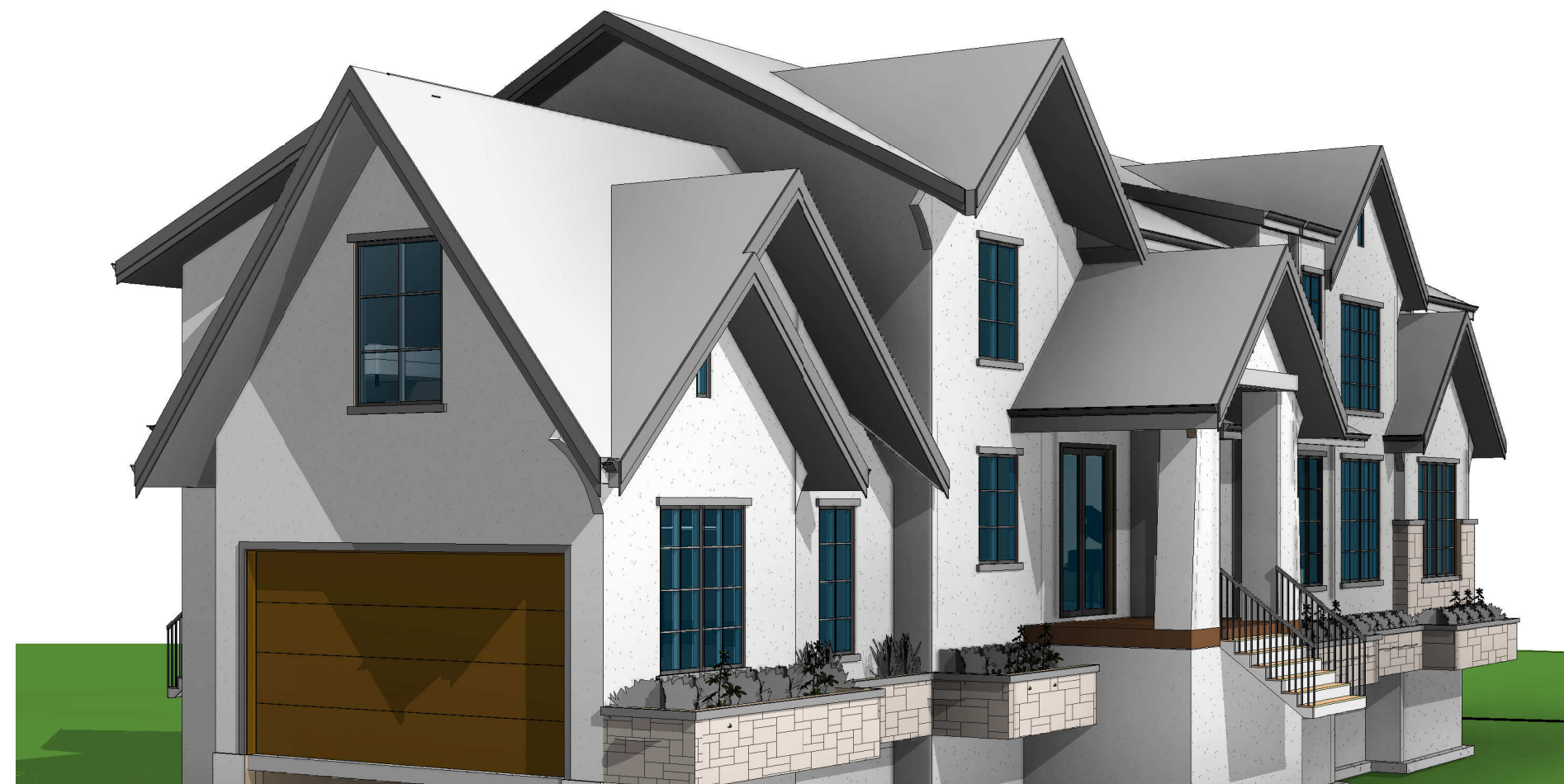


Jim Bontempo

WB/ce

Attachments:

1. Architectural Plans (# 5583987)
2. Existing OCP Land Use Designations (# 5596970)
3. Adjacent Zoning (# 5597010)
4. Topographic Survey Plan (# 5583990)
5. Bylaw No. 3000, 1996, Schedule G (# 5597028)
6. Applicant Rationale (# 5599623)



THESE DRAWINGS HAVE BEEN PREPARED BY JOSS DESIGN INC. TO CONFORM TO CURRENT RESIDENTIAL STANDARDS OF THE BRITISH COLUMBIA BUILDING CODE (B.C.B.C.) 2024 AND THE SPAN BOOK 2004 EDITION. THE BUILDER IS RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION CONFORMS TO PROVINCIAL AND LOCAL BUILDING CODES AND BY-LAWS.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK AND VERIFY ALL DIMENSIONS, MATERIALS, AND SPECIFICATIONS PRIOR TO CONSTRUCTION. ANY ERROR OR OMISSIONS SHALL BE BROUGHT TO OUR ATTENTION IMMEDIATELY SO THAT CORRECTIONS CAN BE MADE AND PLANS REPLACED.

DO NOT SCALE DRAWINGS. JOSS DESIGN INC. WILL NOT BE RESPONSIBLE FOR DEPARTURES FROM AND/OR CHANGE TO THESE PLANS.

STRUCTURAL SPECIFICATIONS

EXTERIOR WALLS ARE DRAWN 6" THICK ASSUMING 1/2" PLYWOOD SHEATHING ON 5-1/2" STUDS. ALL INTERIOR WALLS ARE DRAWN 4" OR 6" THICK FOR 2x4 OR 2x6 STUD WALLS.

DIMENSIONS TO BE TAKEN FROM OUTSIDE FACE OF SHEATHING FOR EXTERIOR WALLS AND CENTRE OR FACE OF STUDS FOR INT. WALLS AS SHOWN.

ALL HEIGHT DIMENSIONS ON FLOOR PLANS ARE FROM TOP OF FLOOR PLYWOOD.

APPLICATION OF MATERIALS MUST CONFORM TO THE TABLES PROVIDED IN THE SPAN BOOK 2004 EDITION.

BUILDING FRAMES SHALL BE ANCHORED TO THE FOUNDATION WALLS BY FASTENING A SILL PLATE TO THE FOUNDATION WALL WITH 13MM ANCHOR BOLTS SPACED AT 1800MM ON CENTER, UNLESS OTHERWISE NOTED.

FLOOR JOISTS SPANNING MORE THAN 2100MM ARE TO BE BRIDGED AT MID SPAN OR AT 2100MM ON CENTRE BY 38x38 DIAGONAL BRIDGING. ALL SUBFLOORS TO BE 15.5MM 1x6 PLYWOOD, GLUED AND NAILED TO THE JOISTS.

WINDOW AND DOOR SIZES ARE APPROXIMATE AND CONTRACTOR SHALL CHECK WITH WINDOW AND DOOR SUPPLIER FOR ACTUAL ROUGH OPENINGS.

ALL LINTELS ARE TO BE 2-38x135 D. FIR NO. 2 OR BETTER, UNLESS OTHERWISE STATED, AND SHALL BE SUPPORTED ON A MINIMUM 38MM BEARING.)

BUILDER TO CHECK SNOW LOAD AND RAIN LOAD GUIDELINES FOR THEIR MUNICIPALITY PRIOR TO CONSTRUCTION.

TOP OF EXTERIOR FOUNDATION WALLS TO BE MIN 8" ABOVE FINISHED GRADE.

ALL GUARDRAILS TO BE 42" IN HEIGHT AND 4" VERTICAL SPACING. ALL GUARDRAILS MUST CONFORM TO ALL RELEVANT REQUIREMENT TO SECTION 9.8.8 OF THE B.C.B.C. 2024.

CONTRACTOR MUST VERIFY ALL SERVICE LINES PRIOR TO CONSTRUCTION.

FOOTINGS MUST PENETRATE BELOW FROST LINE AND BE ON SOLID BEARING.

EXPOSED SHEET METAL FLASHING SHALL BE OF GALVANIZED STEEL. CAULKING AND FLASHING TO BE PROVIDED AS PER B.C.B.C. 2024.

INSULATION AND VENTILATION

ATTIC ROOF SPACE SHALL BE VENTED WITH ROOF TYPE, EAVE TYPE AND/OR GABLE TYPE VENTS TO A MINIMUM OF 1:300 OF THE INSULATED CEILING AREA. ROOFS CONSTRUCTED WITH ROOF JOISTS SHALL BE VENTED TO A MINIMUM OF 1:150 OF THE INSULATED CEILING AREA.

VENTS SHALL BE UNIFORMLY PLACED AROUND THE BUILDING. CRAWLSPACES MAY ALSO BE HEATED BY A FORCED AIR HEATING SYSTEM OR VENTS TO AN ADJACENT BASEMENT AND SHALL BE VENTED TO ACCORDING TO SECTION 9.32 OF THE B.C.B.C. 2024.

CEILING INSULATION SHALL BE INSTALLED SO AS NOT TO RESTRICT AIR FLOW THROUGH ROOF VENTS TO ATTIC SPACES.

ATTIC SPACES AND CRAWLSPACES TO HAVE A MINIMUM 500x700 ACCESS HATCHWAY.

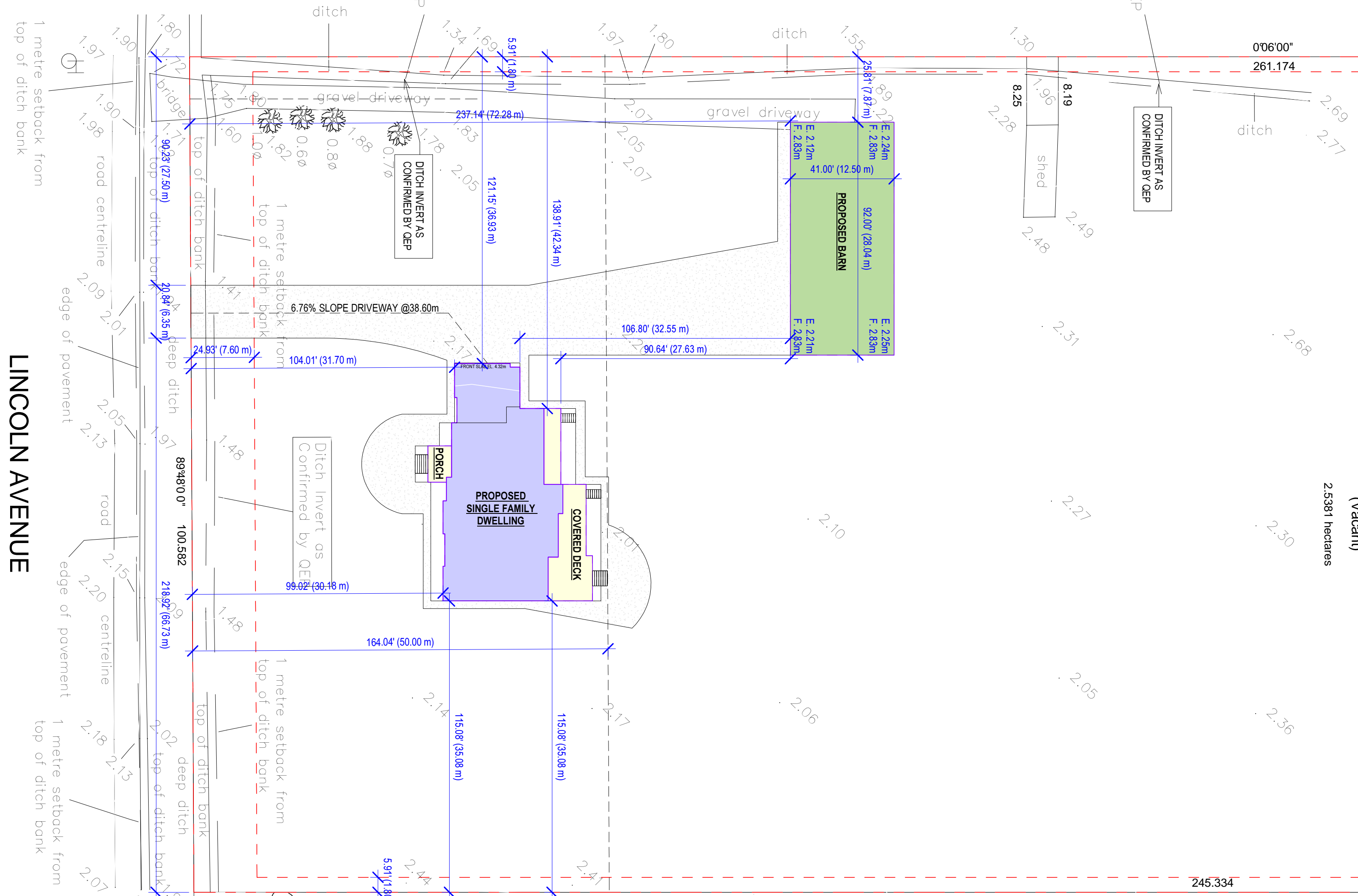
MISCELLANEOUS

THE INSTALLATION OF PLUMBING, HEATING AND ELECTRICAL EQUIPMENT AND MATERIALS SHALL BE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND THE APPLICABLE SECTIONS OF THE B.C.B.C. STANDARDS.

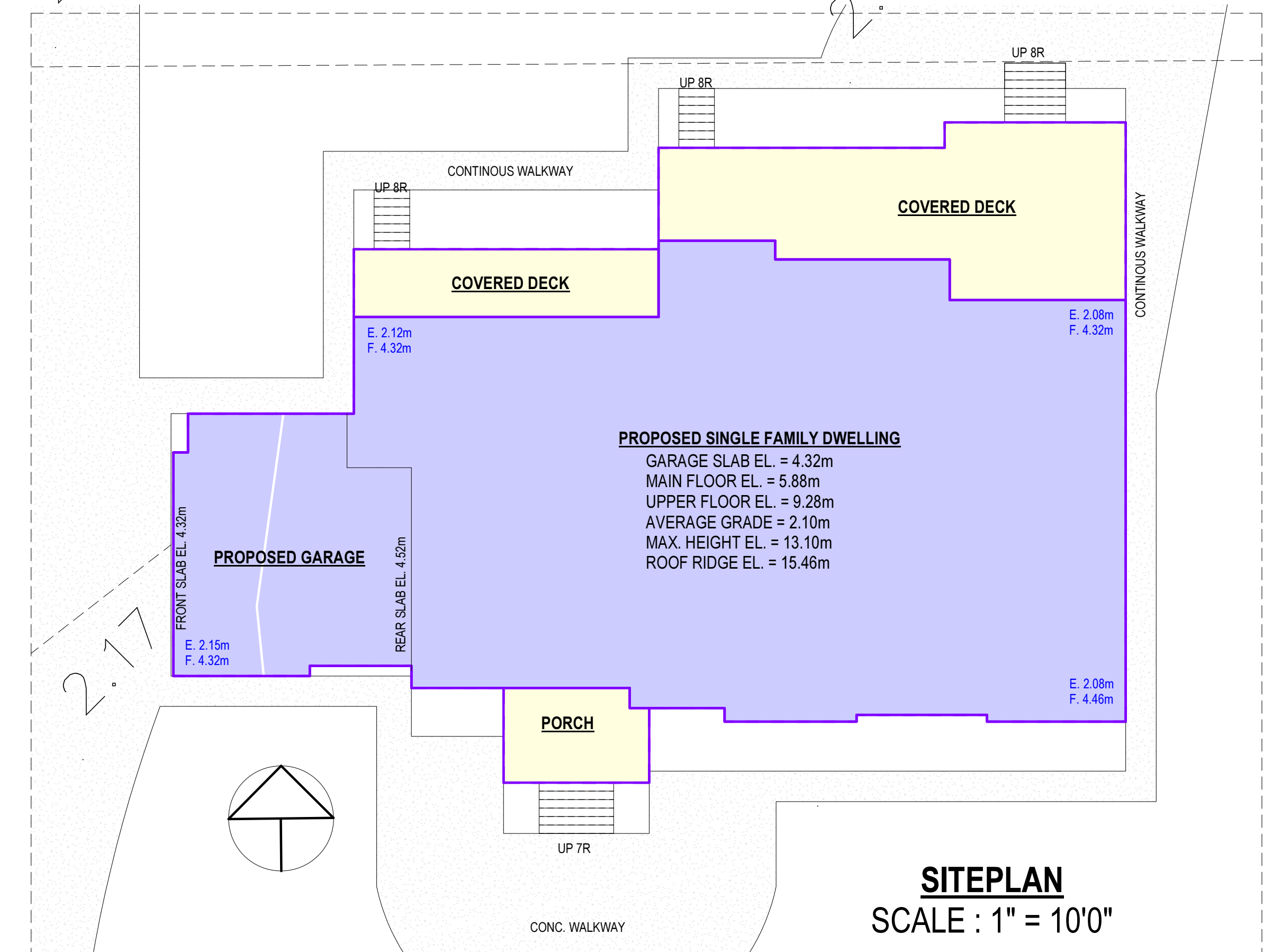
ENGINEERED GLASS IS REQUIRED WHEN USED AS GUARD.

SCOUR PROTECTION PER SUBDIVISION REQUIREMENT. CONTRACTOR'S RESPONSIBILITY TO CHECK WITH GEOTECH ENGINEER.

WINDOW IN STAIRWAY MUST PROVIDE MINIMUM 900 MM BETWEEN SILL AND ADJACENT FLOOR OTHER WISE MUST BE EITHER ENGINEERED OR GUARDED FROM INSIDE.



KEYPLAN
SCALE : 1/32" = 1'0"



SITEPLAN
SCALE : 1" = 10'0"

PROPOSED NEW SINGLE DWELLING
CLIENT: SUNTECH SOLAR SOLUTION

LEGAL DESCRIPTION
LOT 48, SECTIONS 5 AND 8, TPNWSHIP 40, NWD PLAN 2320
PID: 012-635-413

CIVIC ADDRESS
3717 LINCOLN AVENUE, COQUITLAM

ZONING ANALYSIS
ZONE = RS2
LOT AREA = 273198.8 SF (25380.99 SM)

SITE COVERAGE
PERMITTED 40% = 109279.52 SF (10152.40 SM)
PROPOSED AREA = 8265.70 SF (417.48 SM)
HOUSE = 4493.70 SF
BARN = 3772.00 SF

FLOOR AREA RATIO
PERMITTED = 5812.51 SF (540.00 SM)
PROPOSED = 5812.51 SF (540.00 SM)
- UPPER FLOOR = 2246.25 SF (208.68 SM)
- MAIN FLOOR = 2976.86 SF (276.56 SM)
- GARAGE = 589.67 SF (54.78 SM)

- INCL'D SECONDARY SUITE AREA = 549.69 SF (51.07 SM)

PROPOSED BUILDING SETBACK
FRONT = 30.38m (MIN. 7.60m)
REAR = m (MIN. m)
LEFT SIDE = 36.93m (MIN. 1.80m)
RIGHT SIDE = 35.08m (MIN. 1.80m)

DRAWING INDEX

SHEET	DRAWING TITLE
-	3D VIEW
A1	KEY PLAN, SITE PLAN & NOTES
A2	FRONT (SOUTH) ELEVATION
A3	LEFT (WEST) ELEVATION
A4	REAR (NORTH) ELEVATION
A5	RIGHT (EAST) ELEVATION
A6	ROOF PLAN
A7	UPPER FLOOR PLAN
A8	MAIN FLOOR PLAN
A9	FOUNDATION FLOOR PLAN
A10	SECTION 1 & DETAILS
A11	SECTION 2 & DETAILS
A12	SECTION 3 & DETAILS
D	CONSTRUCTION DETAILS



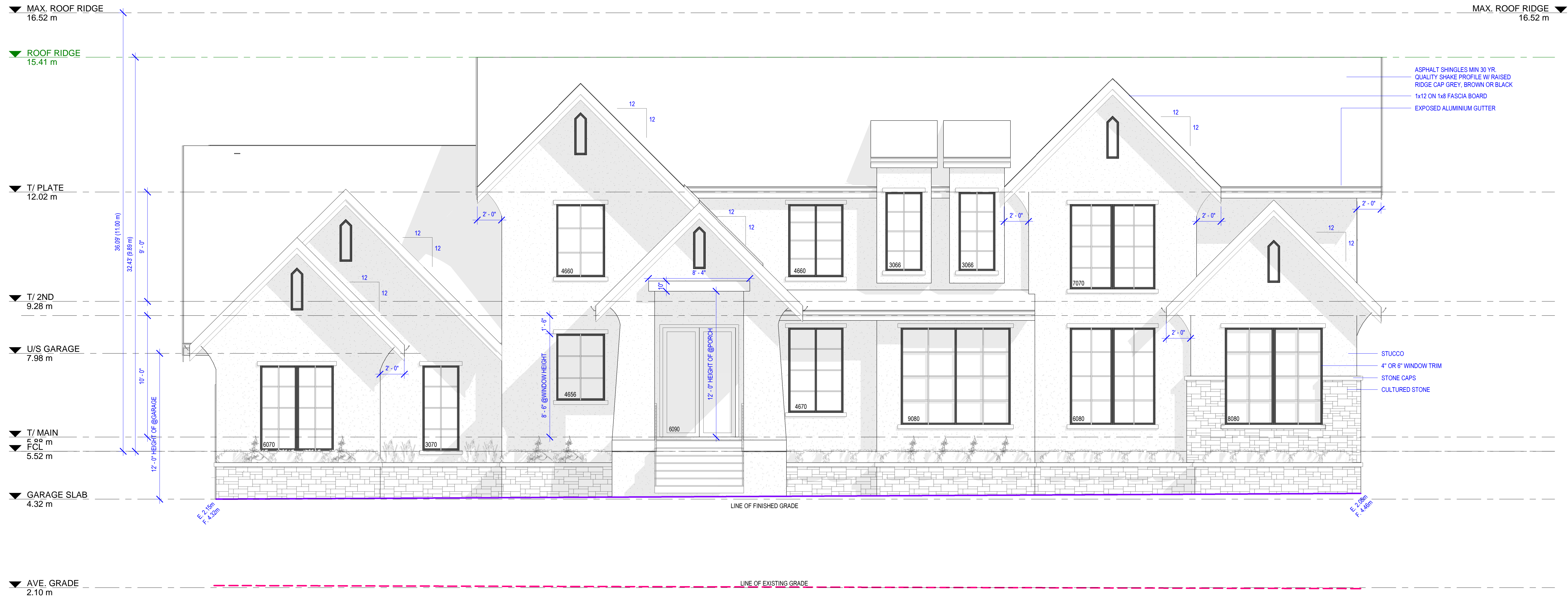
DRAWN JS SEPTEMBER 4, 2024_BP

3717 LINCOLN AVENUE, COQUITLAM

PROJECT
SCALE 1/8"=1'-0"

KEY PLAN, SITE PLAN & NOTES

DRAWING TITLE
A1
SHEET NUMBER



FRONT (SOUTH) ELEVATION



B500 - 20020 84 AVENUE, LANGLEY, BC
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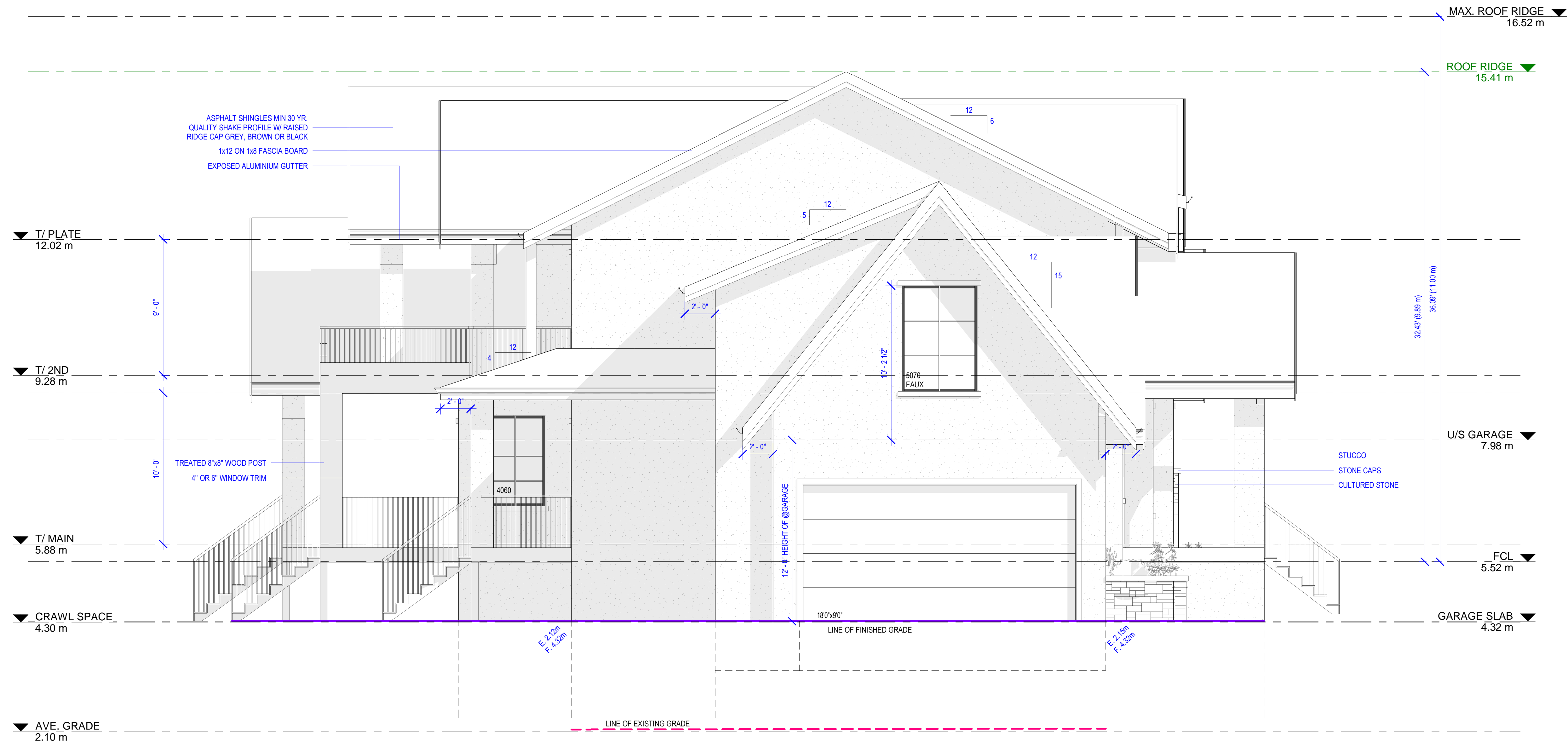
3717 LINCOLN AVENUE,
 COQUITLAM

PROJECT
 SCALE 1/4"=1'-0"

FRONT (SOUTH)
 ELEVATION

DRAWING TITLE

A2
 SHEET NUMBER



LEFT (WEST) ELEVATION



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PROJECT

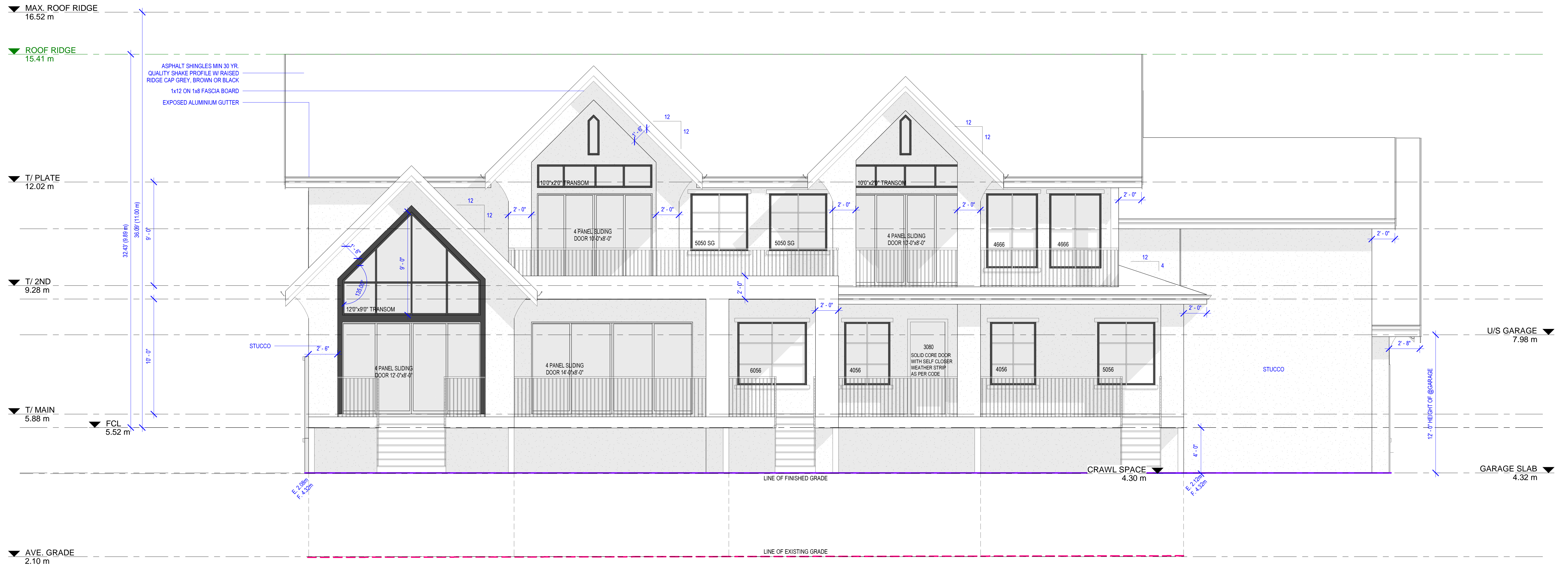
SCALE 1/4"=1'-0"

LEFT (WEST)
 ELEVATION

DRAWING TITLE

A3

SHEET NUMBER



REAR (NORTH) ELEVATION



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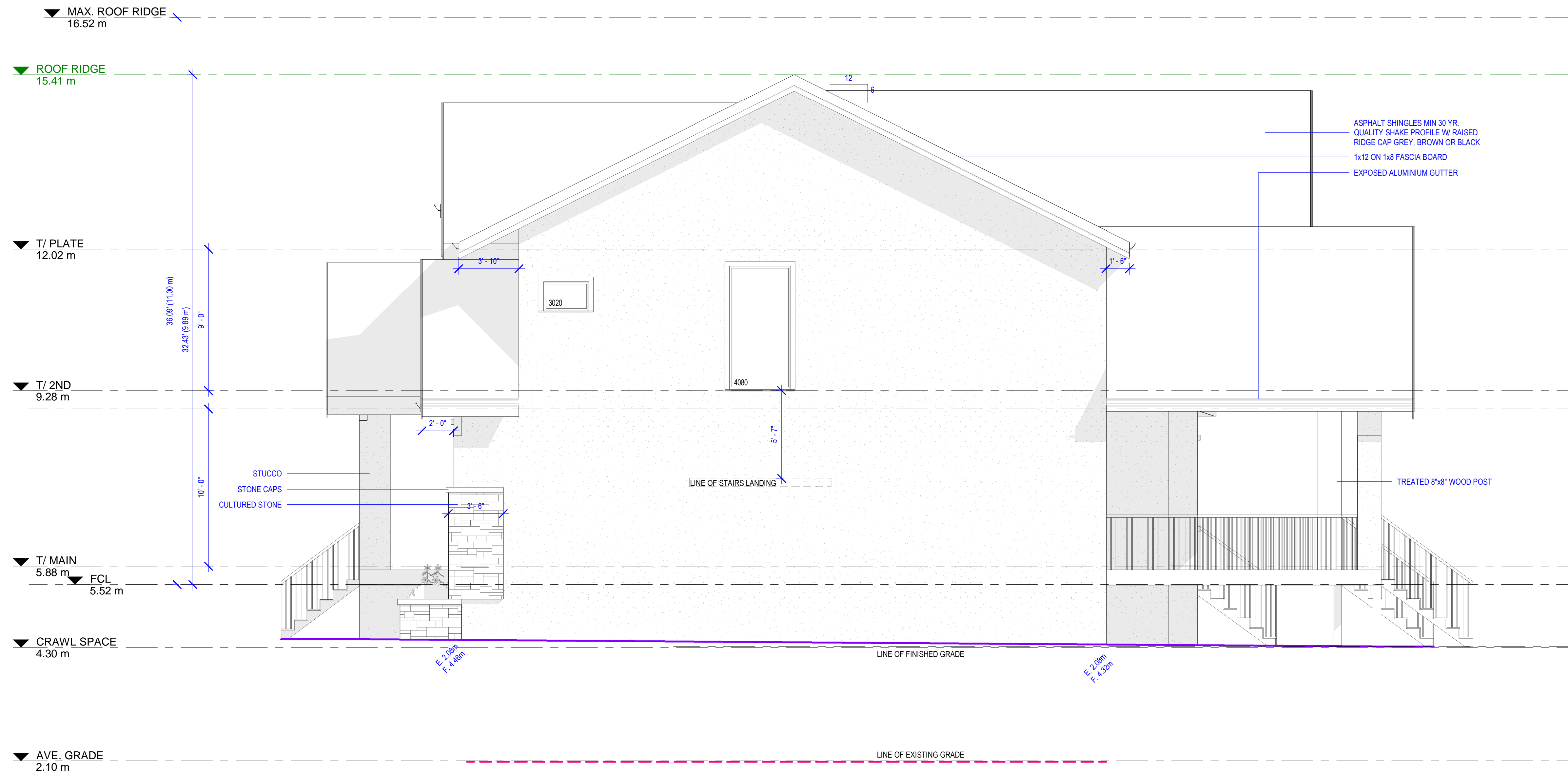
3717 LINCOLN AVENUE,
COQUITLAM

PROJECT
SCALE 1/4"=1'-0"

REAR (NORTH)
ELEVATION

DRAWING TITLE

A4
SHEET NUMBER



RIGHT (EAST) ELEVATION



8500 - 20020 84 AVENUE, LANGLEY, BC
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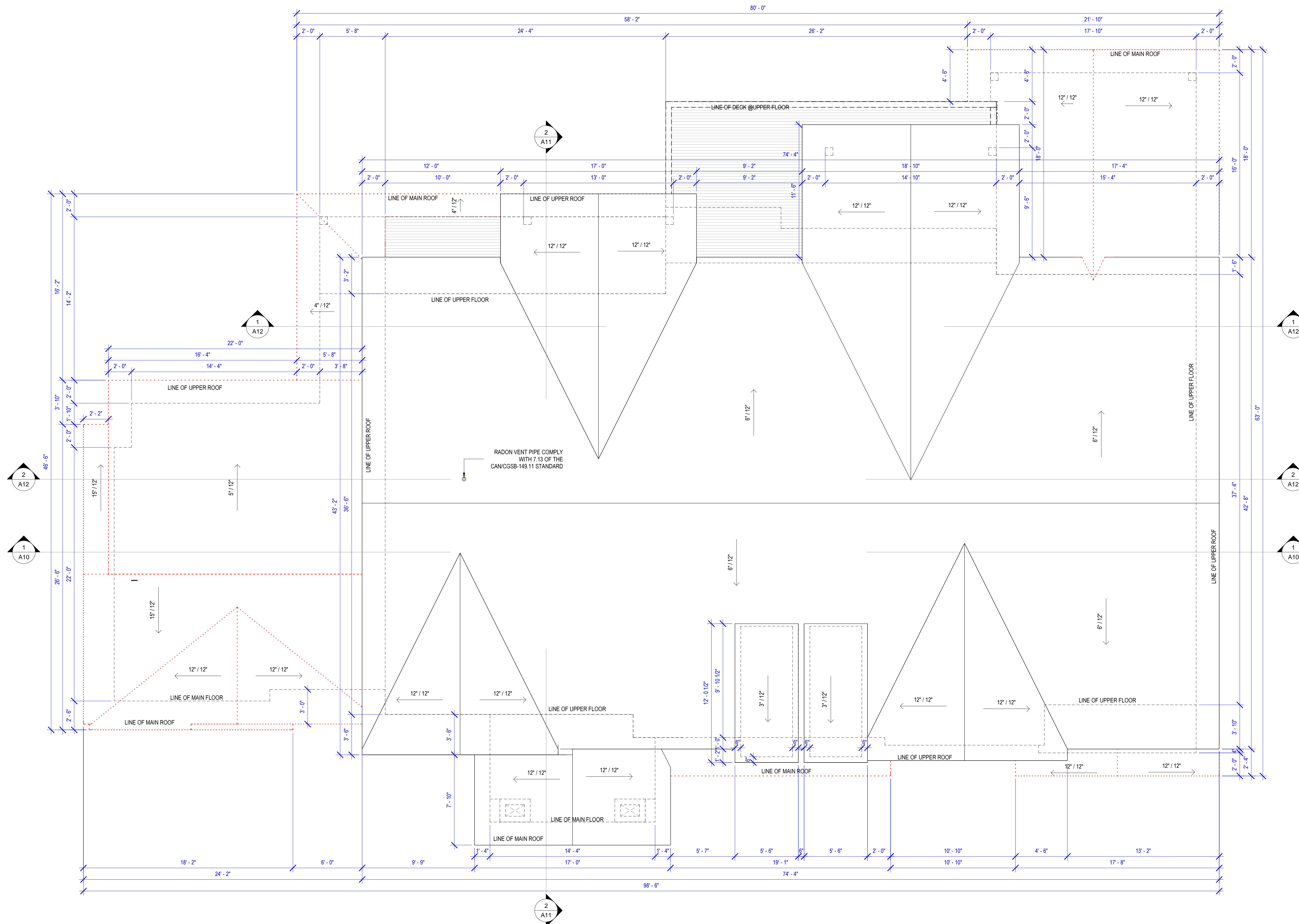
3717 LINCOLN AVENUE,
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PROJECT
 SCALE 1/4"=1'-0"

RIGHT (EAST)
 ELEVATION

DRAWING TITLE

A5
 SHEET NUMBER



ROOF PLAN

JOSS
 5500 - 20020 84 AVENUE, LANGLEY, BC
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**3717 LINCOLN AVENUE,
 COQUITLAM**

PROJECT

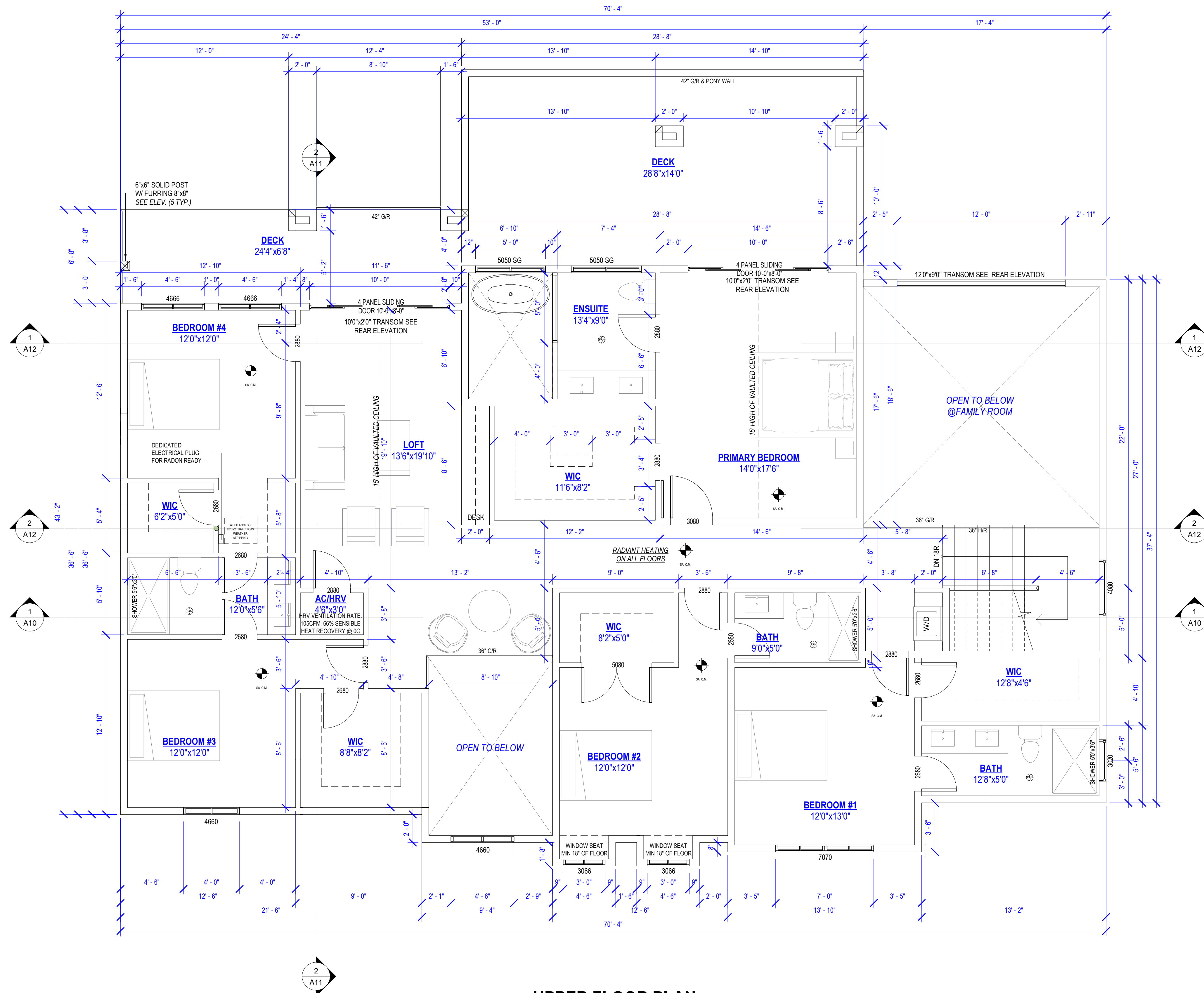
SCALE 1/4"=1'-0"

ROOF PLAN

DRAWING TITLE

A6

SHEET NUMBER



UPPER FLOOR PLAN

UPPER FLOOR AREA = 2246.25 SF
 - STAIRS AREA = 99.18 SF
 - DECK AREA = 563.58 SF



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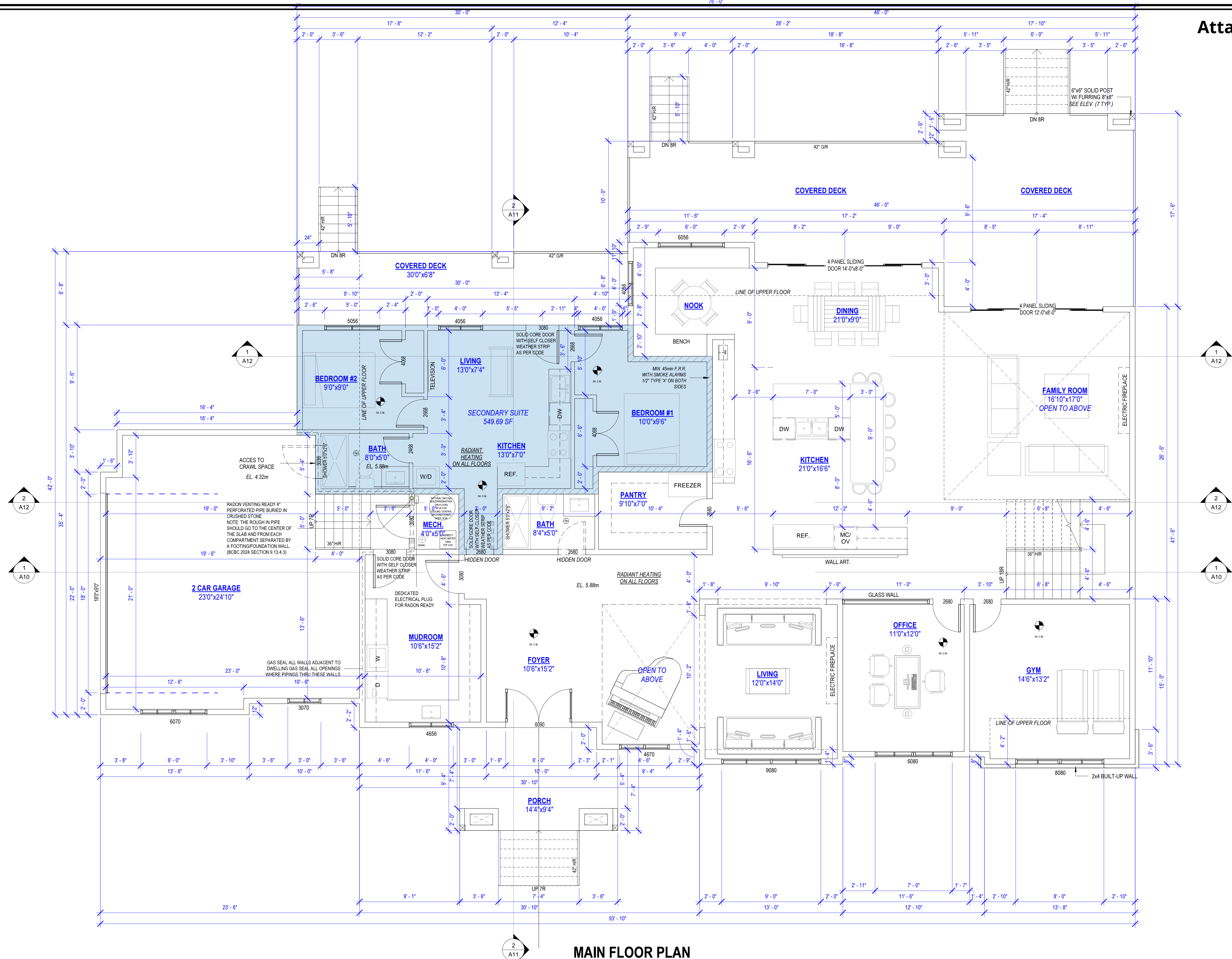
3717 LINCOLN AVENUE,
 COQUITLAM

PROJECT
 SCALE 1/4"=1'-0"

UPPER FLOOR PLAN

DRAWING TITLE

A7
 SHEET NUMBER



MAIN FLOOR PLAN

MAIN FLOOR AREA = 2976.86 SF
 GARAGE AREA = 589.67 SF
 - INCL' SECONDARY SUITE AREA = 549.69 SF
 - COVERED DECK AREA = 801.60 SF
 - PORCH AREA = 131.44 SF

JOSS
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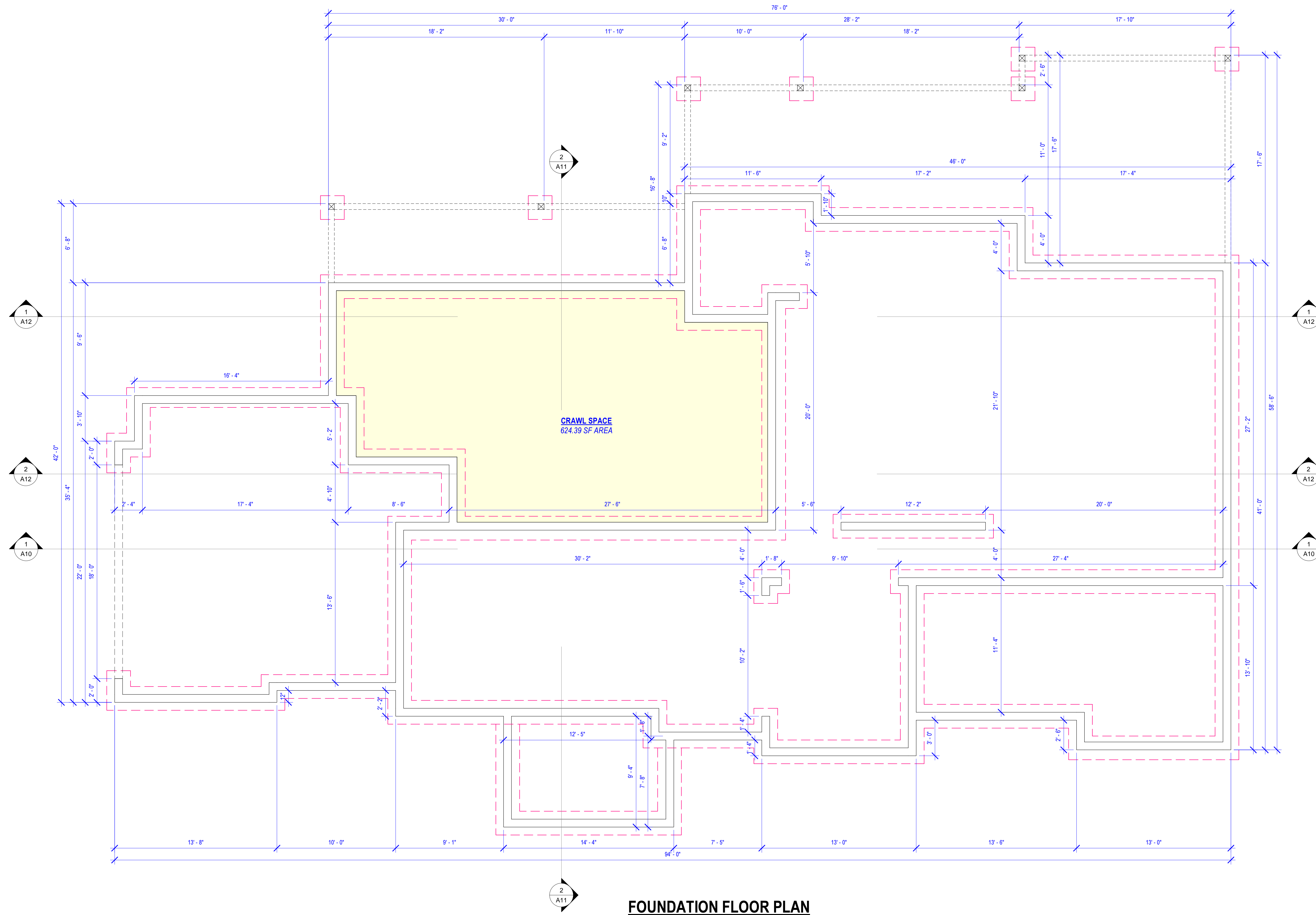
3717 LINCOLN AVENUE,
 COQUITLAM


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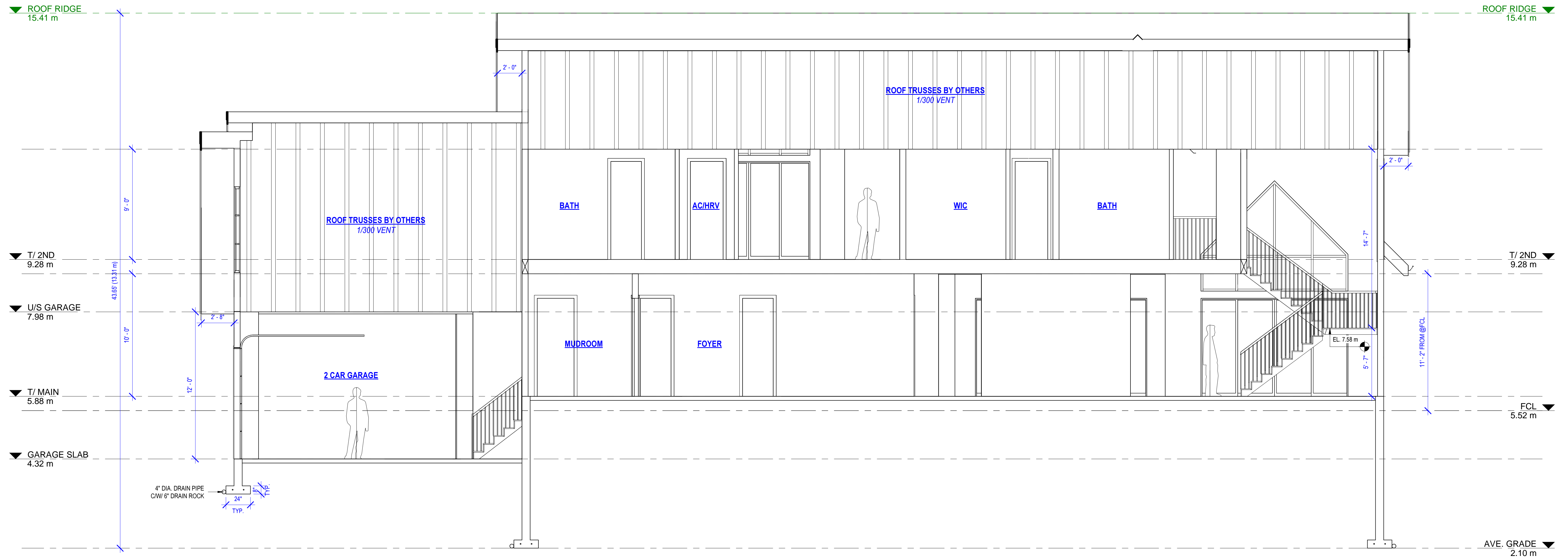
MAIN FLOOR PLAN

DRAWING TITLE

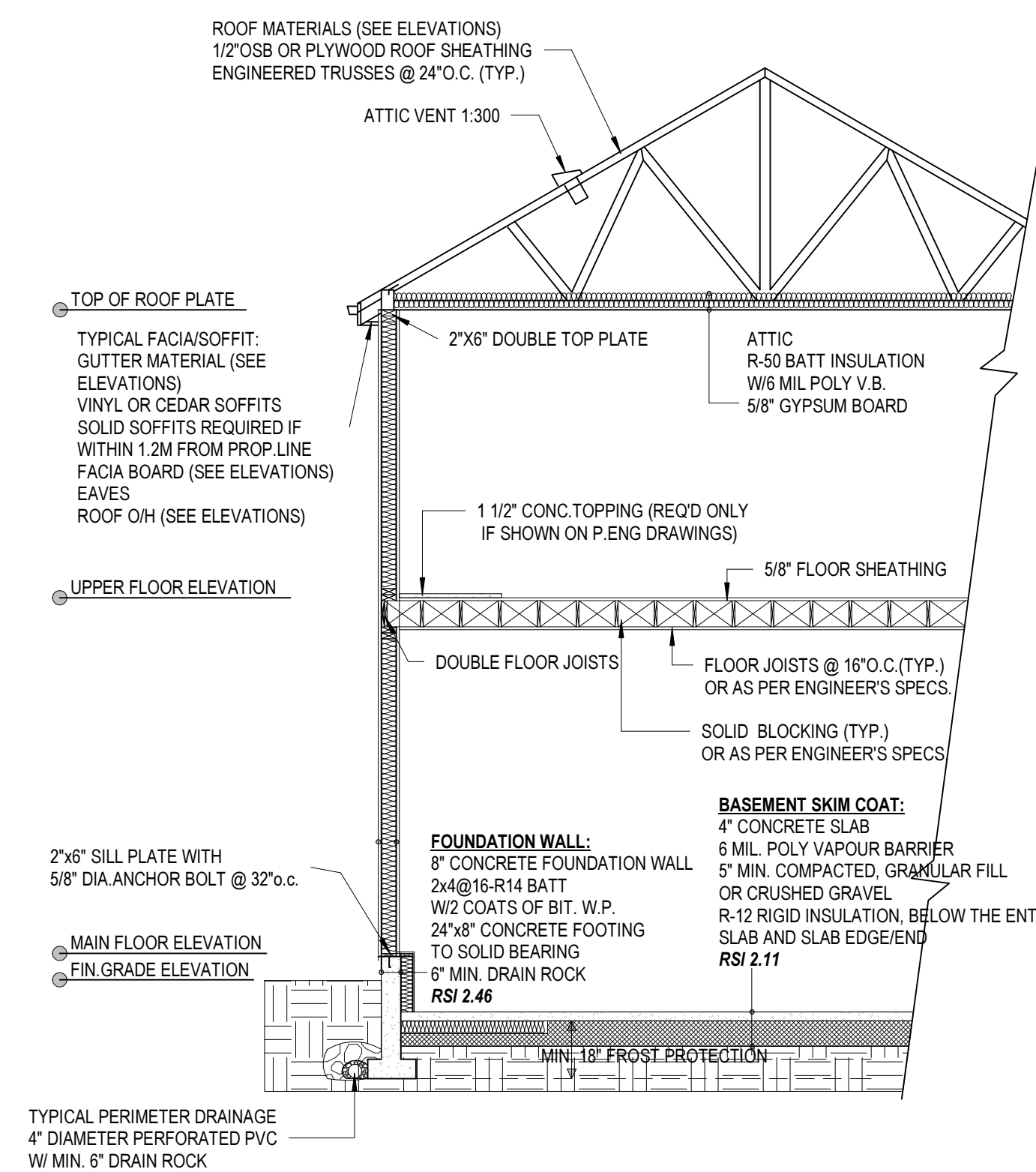
A8
 SHEET NUMBER



	
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3717 LINCOLN AVENUE, COQUITLAM	
PROJECT SCALE 1/4"=1'-0"	
FOUNDATION FLOOR PLAN	
DRAWING TITLE	
A9	
SHEET NUMBER	



SECTION 1



TYPICAL WALL CROSS-SECTION

CROSS SECTION LAYOUT : STEP CODE 2

TYPICAL ROOF :
SEE ELEVATION
ENGINEERED PREFABRICATED TRUSSES @24" O.C
R-50 BLOWN INSULATION
6 MIL. POLY VAPOUR BARRIER
5/8" G.W.B.
RSI 8.79

FLAT / DECK ROOF :
T/JOISTS @16" O.C
R28 BATT INSULATION
RSI 4.51

FLOOR OVER UNHEATED SPACE :
11-7/8" T/J@16" O.C. WR28 BATT
RSI 5.39

TYPICAL EXTERIOR WALL :
SEE ELEVATION
BUILDING PAPER
3/8" PLYWOOD SHEATHING
2x6 @ 16" O.C.
R-24 BATT INSULATION
6 MIL. POLY VAPOUR BARRIER
1/2" G.W.B.
RSI 3.47

RIM JOIST / FLOOR HEADERS :
RIM JOIST, R24 BATT, RAIN SCREEN
RSI 4.23

TYPICAL INTERIOR WALL :
2 X 4 STUDS @ 16" O.C.
1/2" G.W.B.

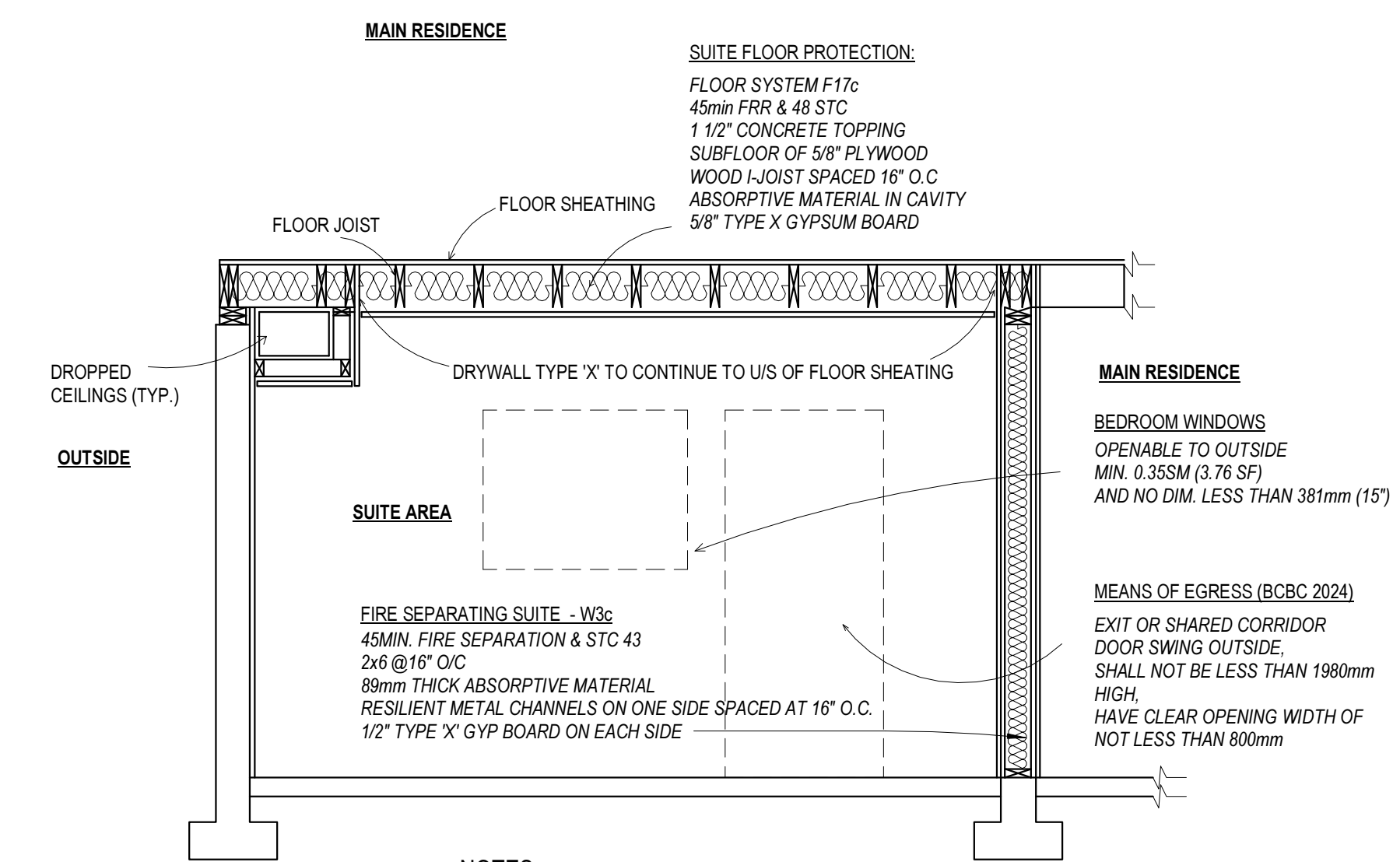
TYPICAL FLOOR :
5/8" T & G PLYWOOD SUBFLOOR
WOOD FLOOR JOISTS (SEE STRUCTURAL)
2 X 2 BRIDGING @ MAXIMUM 84" O.C.

TYPICAL FACIA/SOFFIT :
SEE ELEVATION
ALUMINUM SOFFIT
2X10 FACIA BOARD

EAVES :
MIN. 18" O/H
ON UPPER FLOOR ROOF
MIN. 20" O/H
ON MAIN FLOOR ROOF

TYPICAL DECK :
WATERPROOF MEMBRANE ON
5/8" SHEATHING ON
2X8 OR 2X10 JOISTS AT 16" O.C.
RAILING HEIGHT 42" MIN

NOTE :
WINDOWS : DOUBLE GLAZE, CASEMENT,
LOW-E ARGON GAS US1 1.40 SHGC 0.25
DOORS : FIBERGLASS, FOAM CORE, U1.8
OR LOWER



CROSS SECTION
TYP. SECONDARY SUITE

NOTES:

- FIRE STOP ALL PLUMBING SERVICES PENETRATING THROUGH FIRE SEPARATIONS
- MAIN ELEC PANEL IN DWELLING UNIT WITH SUB PANEL IN SEC. SUITE
- ELEC. SUB PANEL IS NOT PERMITTED IN REQ'D RATED FIRE SEPARATIONS
- CARBON MONOXIDE DETECTORS AND WARD WIRED PHOTO ELEC. SMOKE ALARMS (ALL INTERCONNECTED)
- AN ADDITIONAL SMOKE ALARM OF PHOTO ELEC. TYP. CONFORMING TO CANULC-SA531 "STANDARD OF SMOKE ALARMS" SHALL BE INSTALLED IN EACH SUITE

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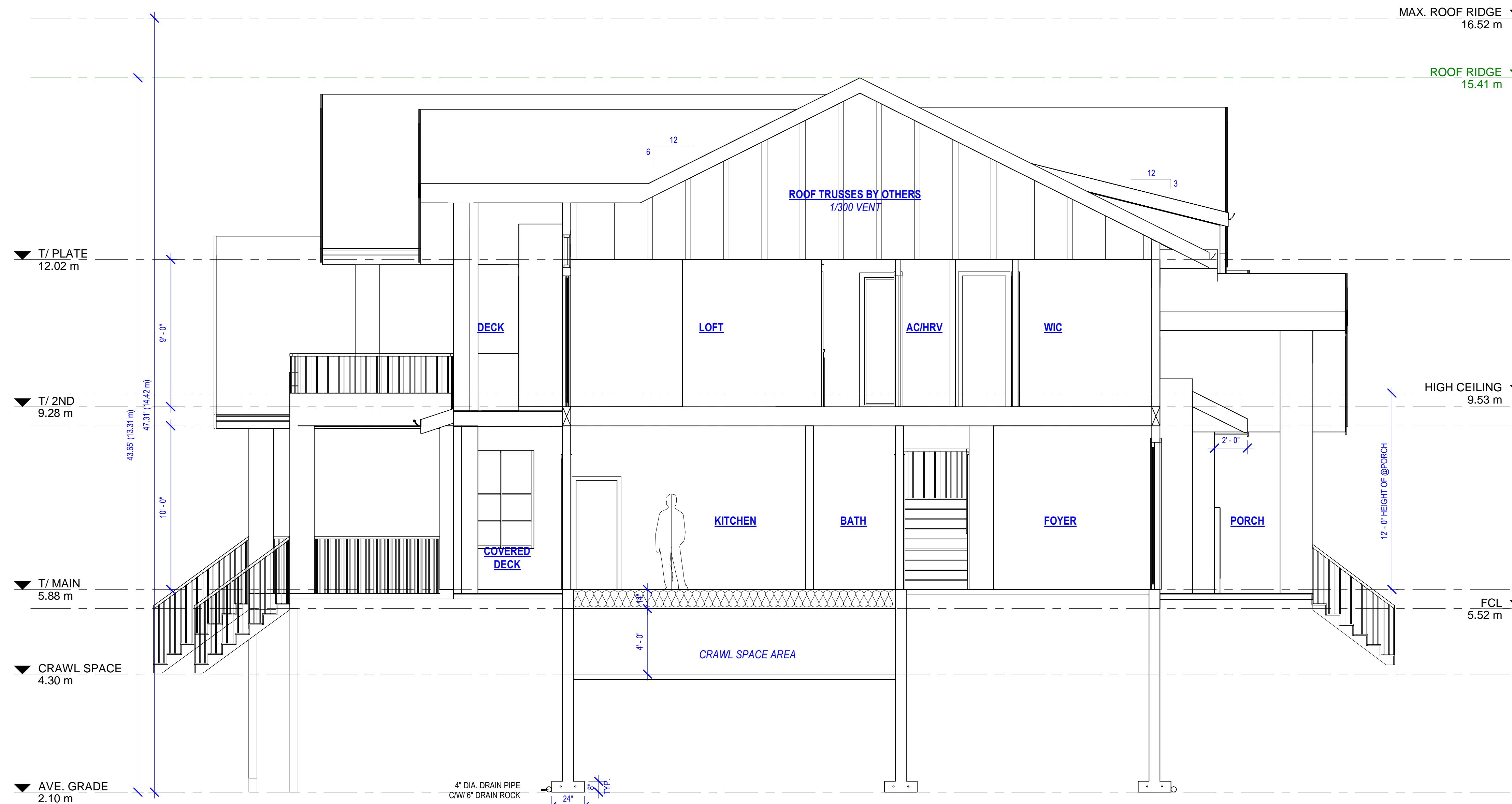
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3717 LINCOLN AVENUE, COQUITLAM

PROJECT
SCALE 1/4"=1'-0"

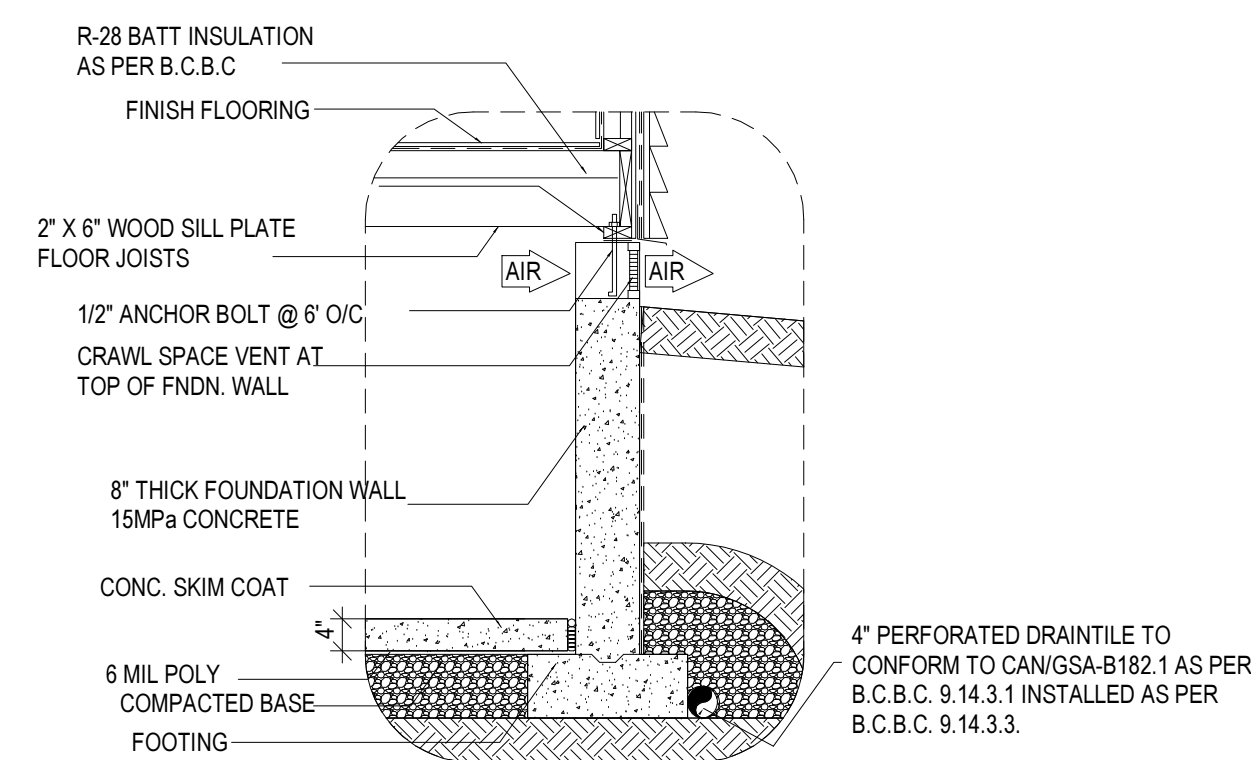
SECTION 1 & DETAILS

DRAWING TITLE
A10
SHEET NUMBER

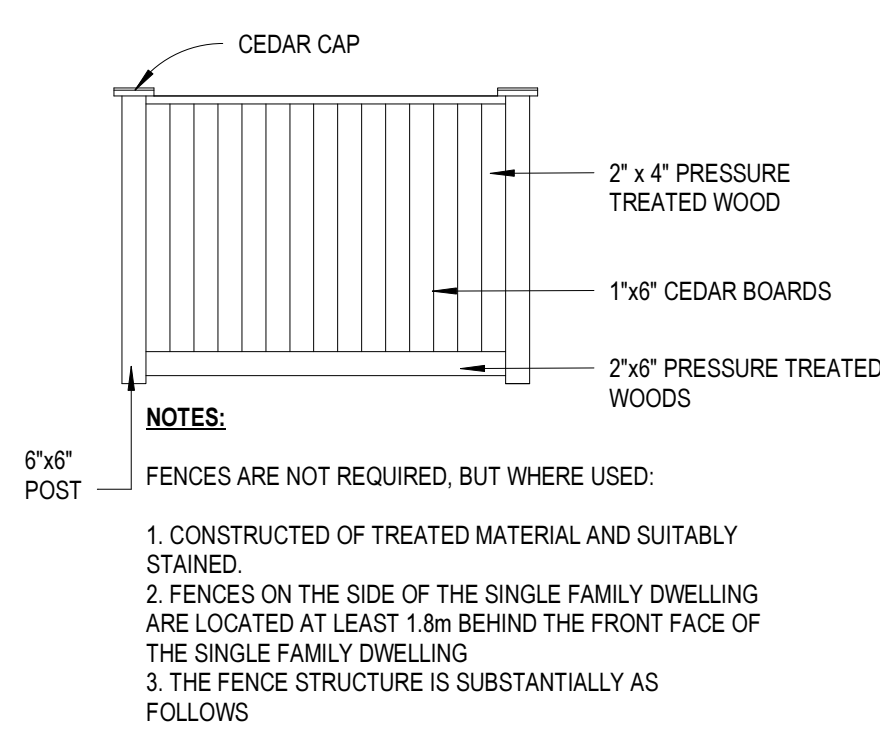


SECTION 2

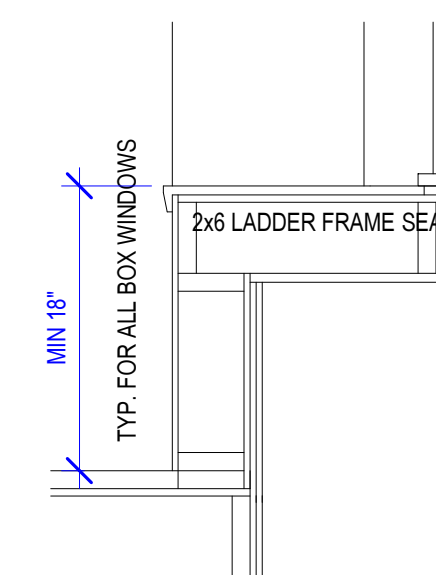
CRAWL SPACE DETAIL (N.T.S.)



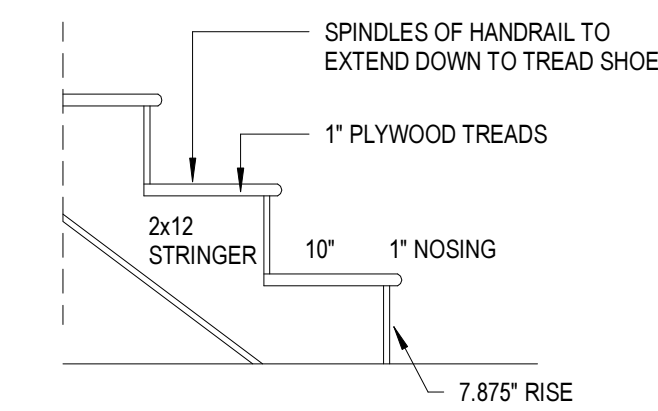
FENCE DETAIL (N.T.S.)



BOX WINDOW DETAIL (N.T.S.)



STAIR DETAIL (N.T.S.)



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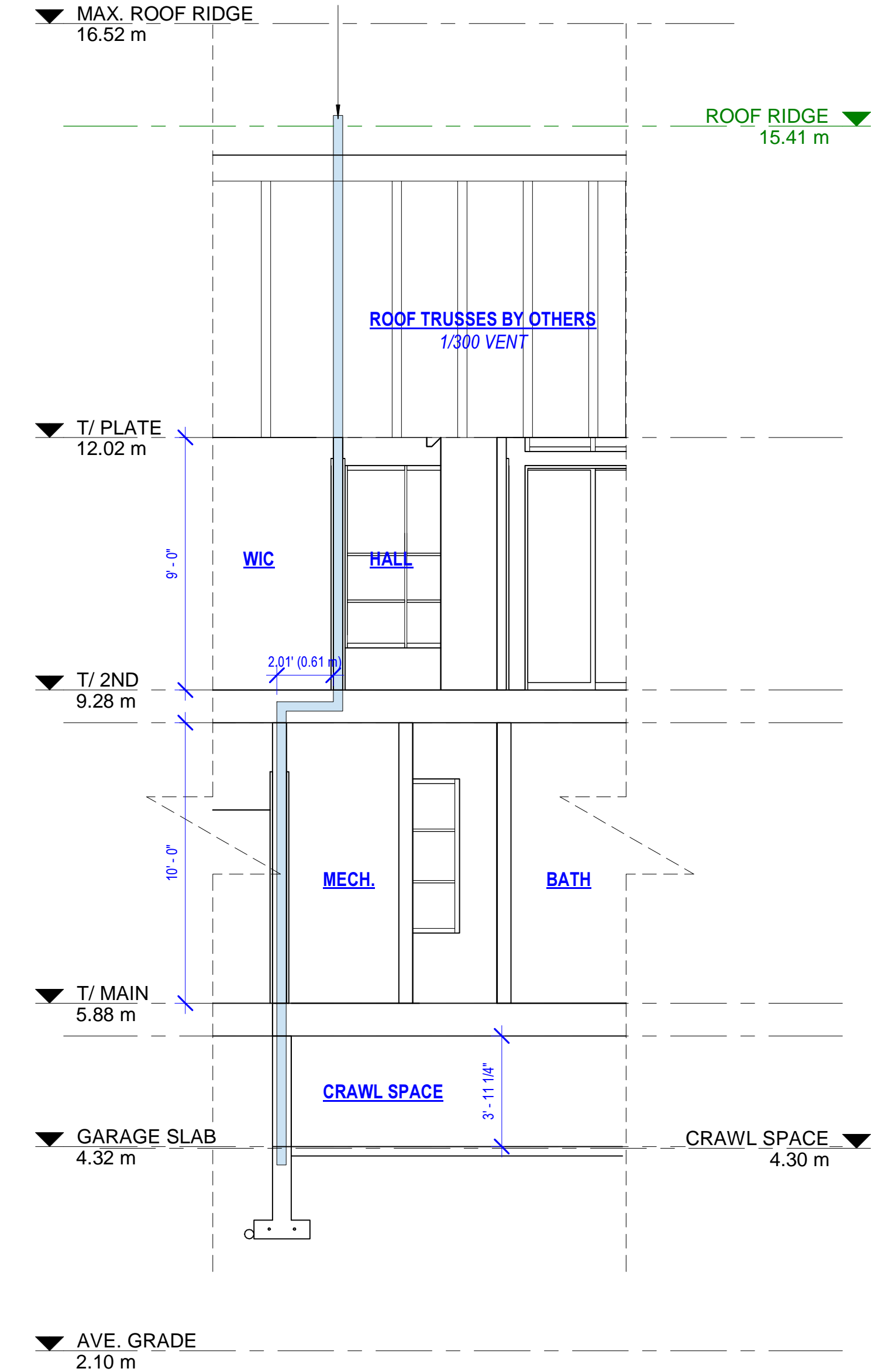
SECTION 2 & DETAILS

DRAWING TITLE
A11

SHEET NUMBER

NOTE: DRAINAGE LAYER REQUIRED AS PER BC. BC. 9.16.2.1. ALLOWS FOR THE EFFECTIVE DEPRESSURIZATION OF THAT SPACE. SEAL AIR BARRIER SYSTEM TO RADON VENT PIPE.

RADON VENT PIPE COMPLY WITH 7.13 OF THE CAN/CSG-149.11 STANDARD



SECTION 3

SECTION 4

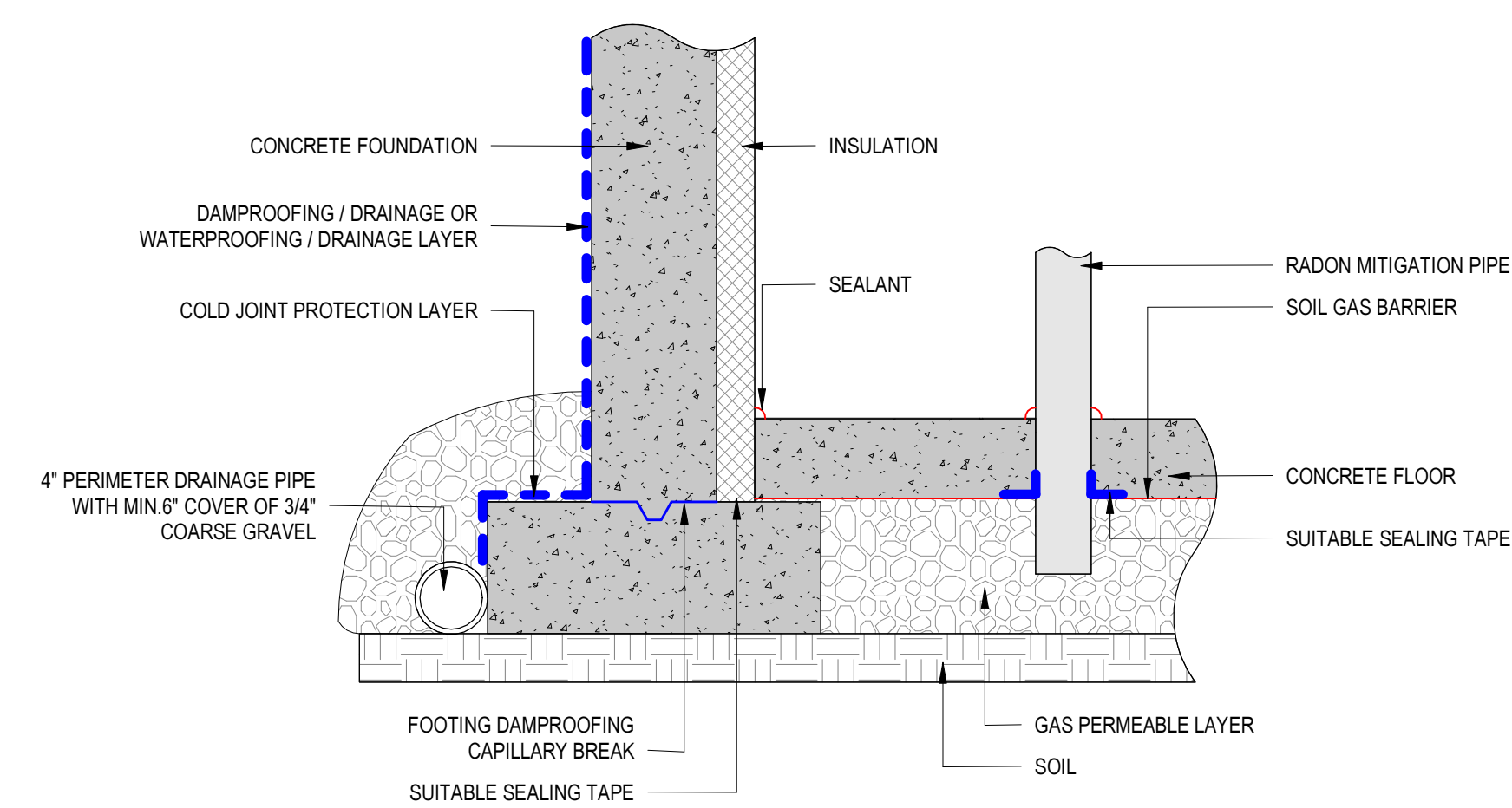


FIGURE 7.1.4.5.7 — SEALING SUB-SLAB MEMBRANE HORIZONTALLY TO CONCRETE FOOTING WHEN INSULATION IS BETWEEN THE FOUNDATION WALL AND FLOOR SLAB

RADON CONTROL DETAIL

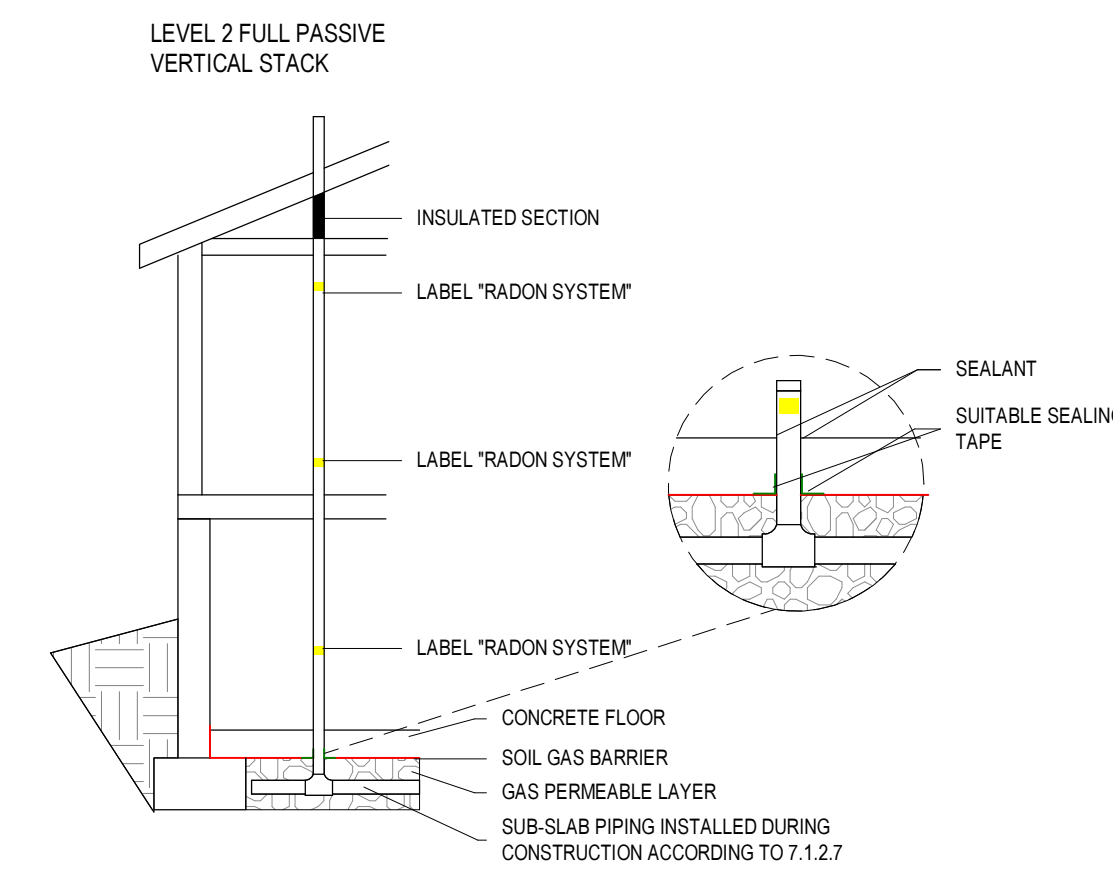


FIGURE 7.2b- LEVEL 2 - FULL PASSIVE RADON STACK

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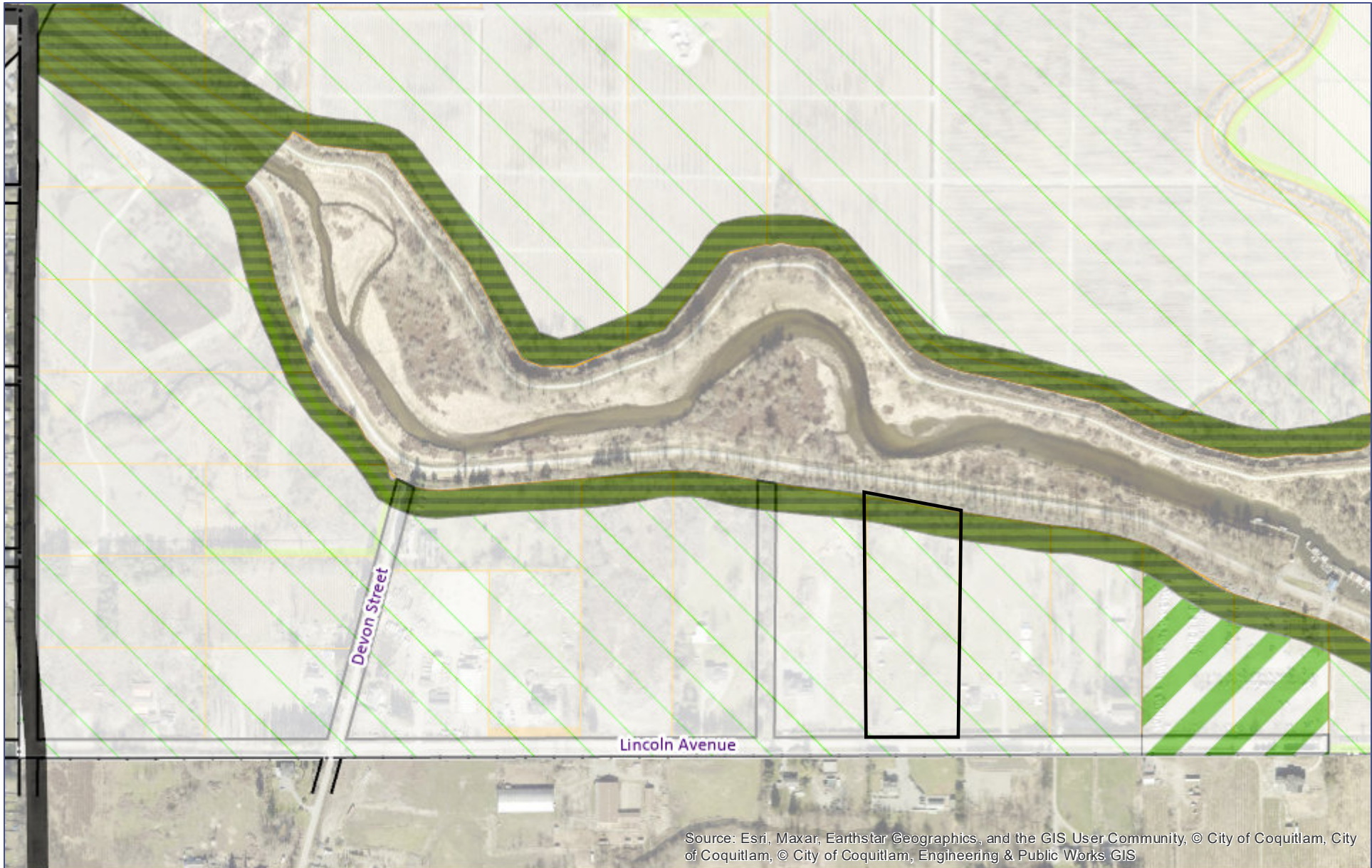
3717 LINCOLN AVENUE,
 COQUITLAM

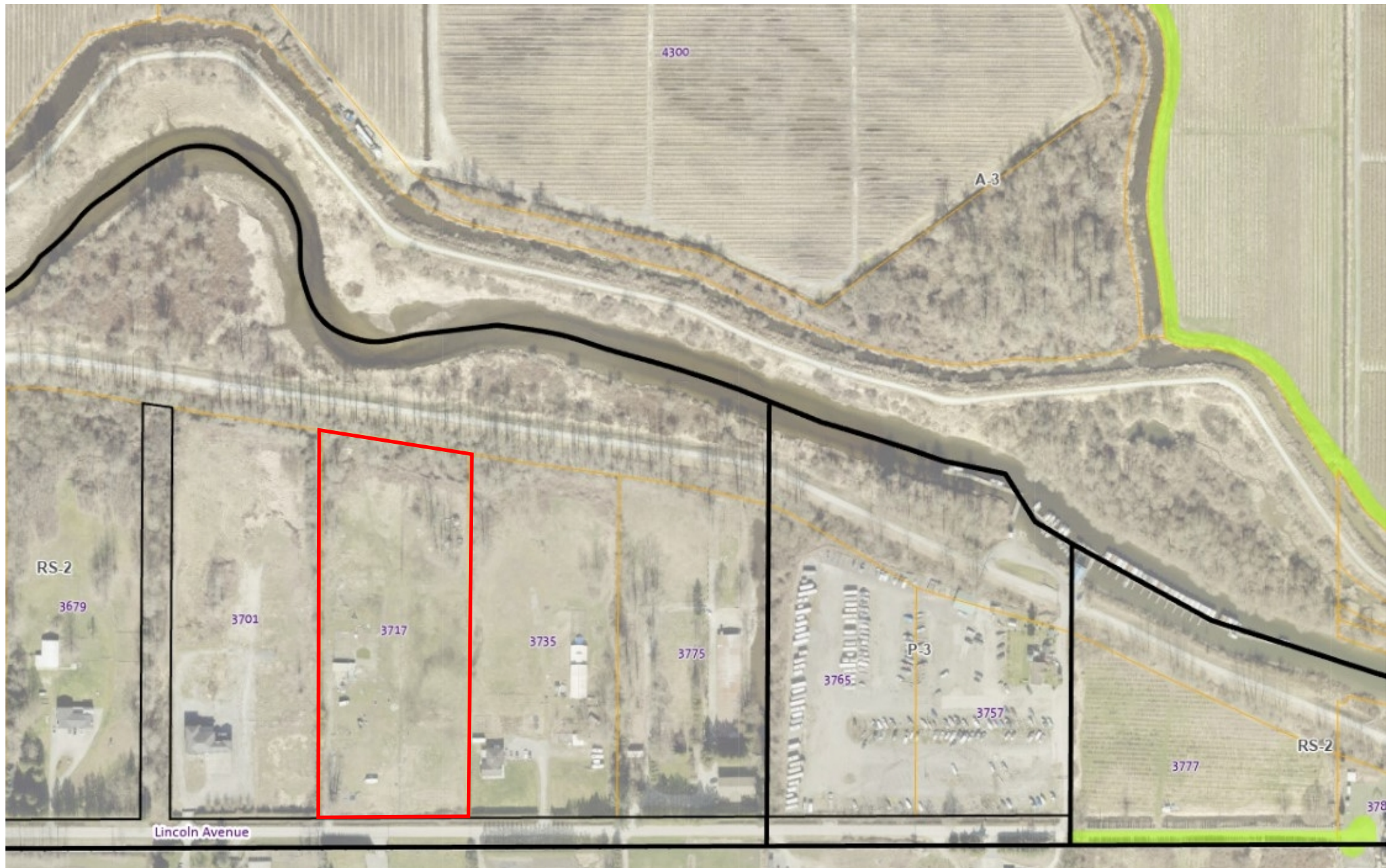
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 SCALE 1/4"=1'-0"

SECTION 3 & DETAILS

DRAWING TITLE

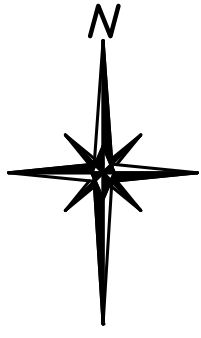
A12
 SHEET NUMBER





TOPOGRAPHICAL PLAN OF LOT 48,
SECTIONS 5 AND 8, TOWNSHIP 40,
NEW WESTMINSTER DISTRICT, PLAN 2320

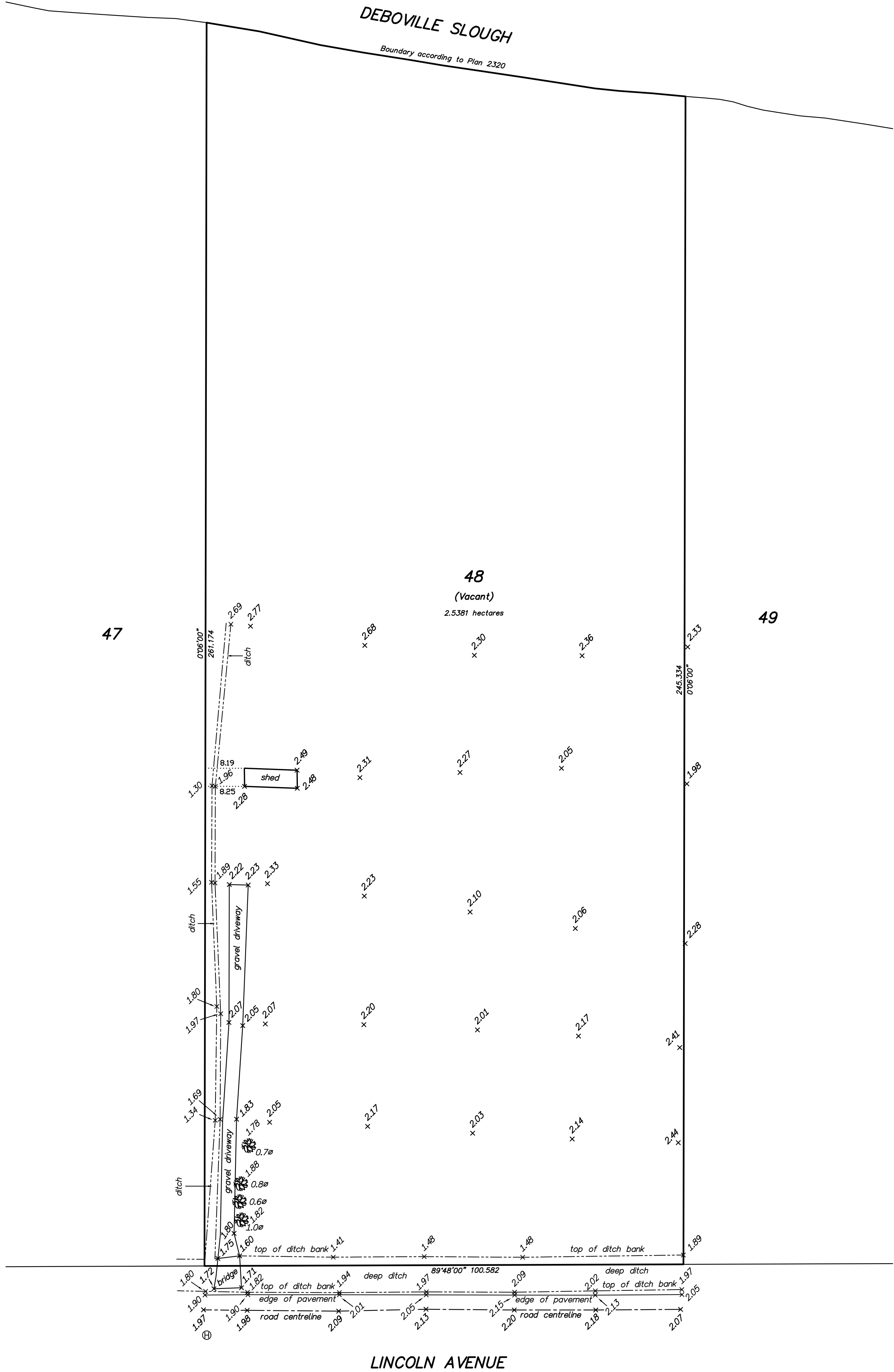
PARCEL IDENTIFIER 012-635-413
CIVIC ADDRESS 3717 Lincoln Avenue
Coquitlam, B.C.



SCALE: 1:600



All distances are in metres



47

48
(Vacant)
2.5381 hectares

49

LEGEND

- x 2.23 Spot Elevation
- Deciduous Tree
- ⊕ Fire Hydrant

Elevations are Geodetic, shown in metres, derived from Control Monument 02H2462 Elevation = 1.811 metres Datum: CVD28GVRD2018.

Lot dimensions are based on Plan 2320.

Offsets shown are not to be used to define property lines. This plan was prepared for a specific purpose and is for the exclusive use of our client. We assume no responsibility for the unauthorized use of this plan.

CERTIFIED CORRECT
this 2nd day of June, 2022.

PAPOVE
PROFESSIONAL LAND SURVEYING INC.
202 - 1120 WESTWOOD STREET
COQUITLAM, B.C., V3B 7K8
TEL : (604) 464-5199
FAX : (604) 464-6509






FILE NUMBER : 7923

Attachment 5

SCHEDULE 'G' TO BYLAW 3000, 1996

Designated Floodplain of the Brunette, Coquitlam, Fraser and Pitt Rivers

Legend

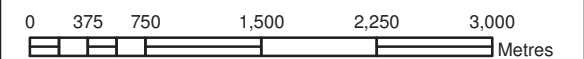
-  Pump Station
-  Flood Box
-  Existing Dikes
-  City Boundary
-  Flood Extent

Flood extents provided as per the Coquitlam/Fraser/Pitt Rivers Floodplain Mapping report (KWL, October 2015) and Still Creek - Brunette River Floodplain Mapping report (GVRD, 1998).

* The projected year 2200 sea level rise is taken into account.

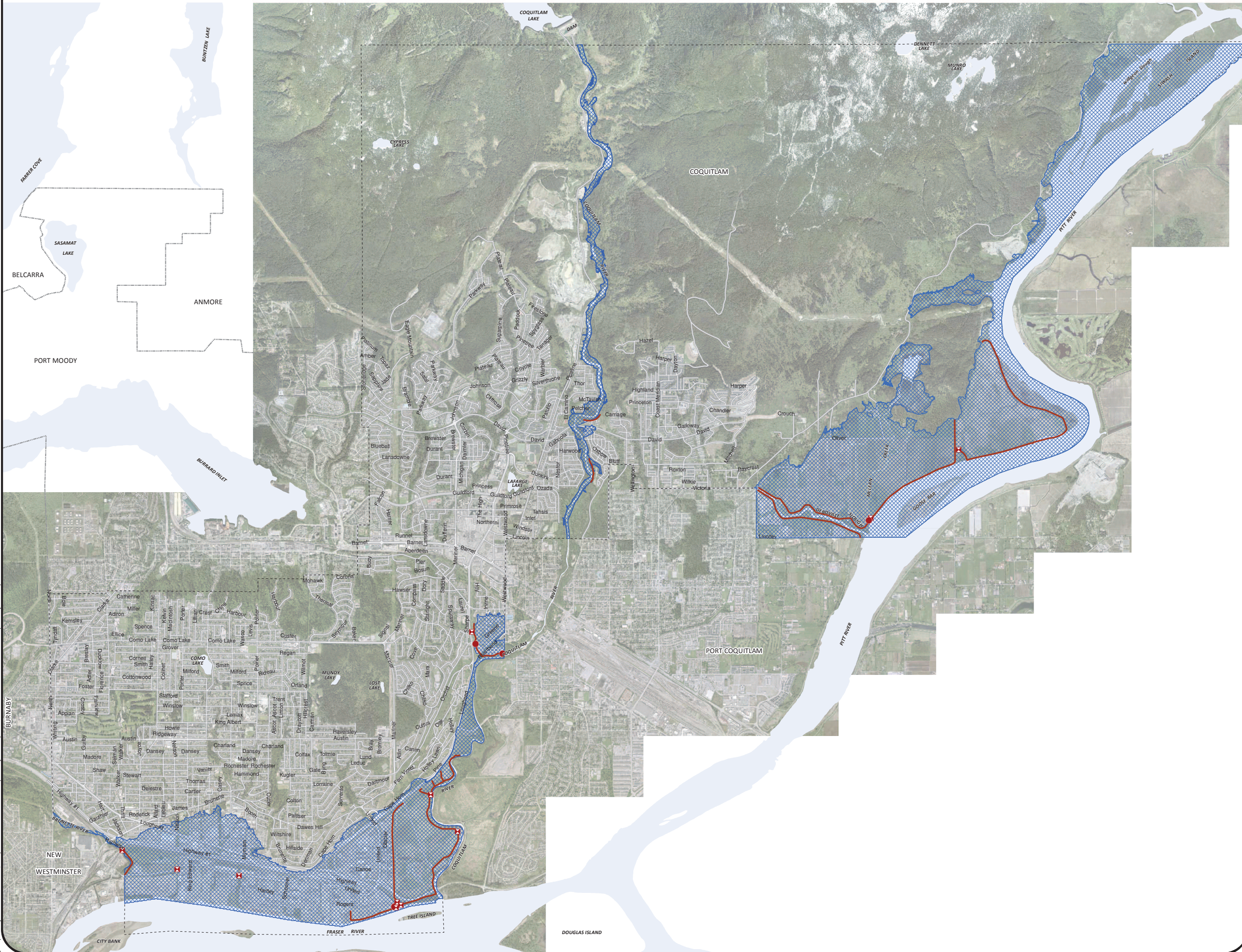
FLOODING MAY STILL OCCUR OUTSIDE OF THE DESIGNATED FLOODPLAIN AREAS

This map does not represent the precise boundaries of the floodplain of the Brunette, Coquitlam, Fraser and Pitt Rivers. It is intended to be used only as an indicator of areas of concern. Floodplain boundaries and flood construction levels must be determined for any application by a professional engineer who certifies that the land may be used safely for the intended use.



Date Created: November 2017
 Map Projection: UTM NAD1983
 Prepared By: Engineering and Public Works
 Source: City of Coquitlam

Coquitlam



K:\gis\Projects\MileE\Fraser, Coquitlam & Pitt River Floodplain Bylaw Map 2015\2015 Fraser & Pitt River Floodplain Bylaw Map 11x17.mxd

BOV for 3717 Lincoln Ave main building height variance

We are **requesting a height variance** of 2.4m above allowable limit of 11m. Currently the existing grade is at 2.08m at the lowest point with an average existing grade of 2.10m. After the building site is brought up with compacted fill (as required for construction in the area) the average finished grade is 4.36m. With the construction of a new 2 level home with a 12-12 peaked roof the Roof ridge will be 11m from the average finished grade. However when calculated for the lower point of the existing grade the height is 13.31m.

The **hardship** is the limiting factor of the height when compared to the existing grade. Given the flood construction level of the area we are required to bring the elevation up to 4.36m average finished grade with our main floor elevation of 5.88m above the crawl space to again accommodate for flood protection. Coupled with a steep slope roof of 12-12 pitch consistent with a craftsman style farm house (to allow for efficient snow and rain shedding) this puts the overall height of the home to the top of the roof ridge at 15.46m from the existing grade, but before the construction fill is brought in.. Which exceeds the maximum allowable height of 11m. Thus restricting the design to a single story home which would also limit the size and not be conducive of having enough space to raise a family to help contribute to the farm operations or allow for generational living under the same roof. To allow for a typical 2 story home with proper slope for rain and snow shedding as well as bringing the elevation up to protect from flooding and ensuring a solid construction base, we are requiring a variance to mitigate this hardship.

The **intent of the bylaw** is to prevent tall homes from being beside each other and being out of place in the neighbourhood. In this instance, the property line is about 100 feet from the front of the house and 115 feet from the east neighbouring property line and 121 feet from the west neighbour's property line. As well with the area being in the ALR the Farm barns can be built much closer to the property line and not restricted by the same height requirements. The bylaw restriction meets its objective for regular city lots, however in this instance with the property being 6.2 acres, the neighbours are much further away and an increase in overall height won't be distinguishable or intrusive to the area or neighbours