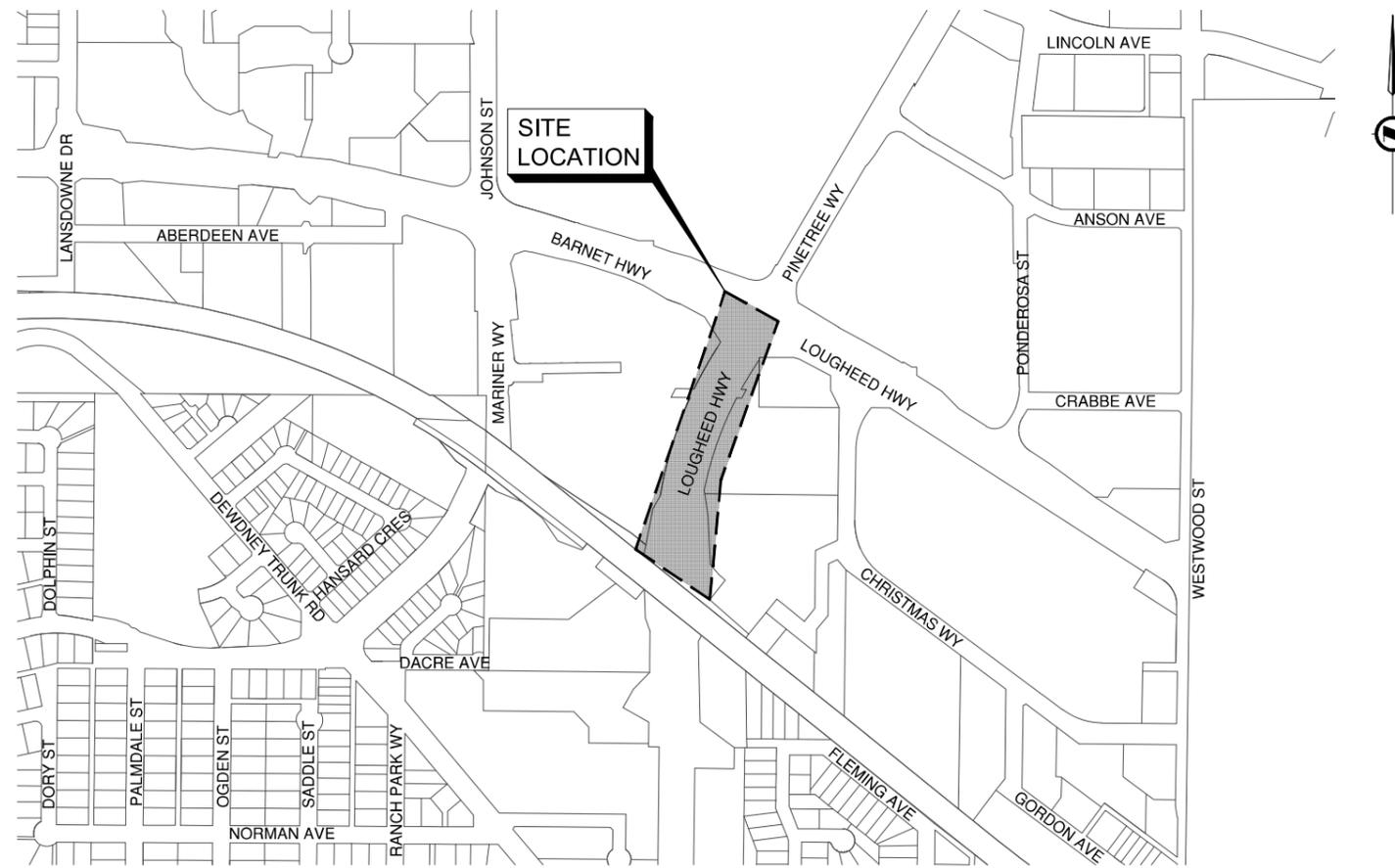




72494 - LOUGHEED HIGHWAY PAVEMENT REHABILITATION (SOUTH OF BARNET HIGHWAY) ISSUED FOR TENDER



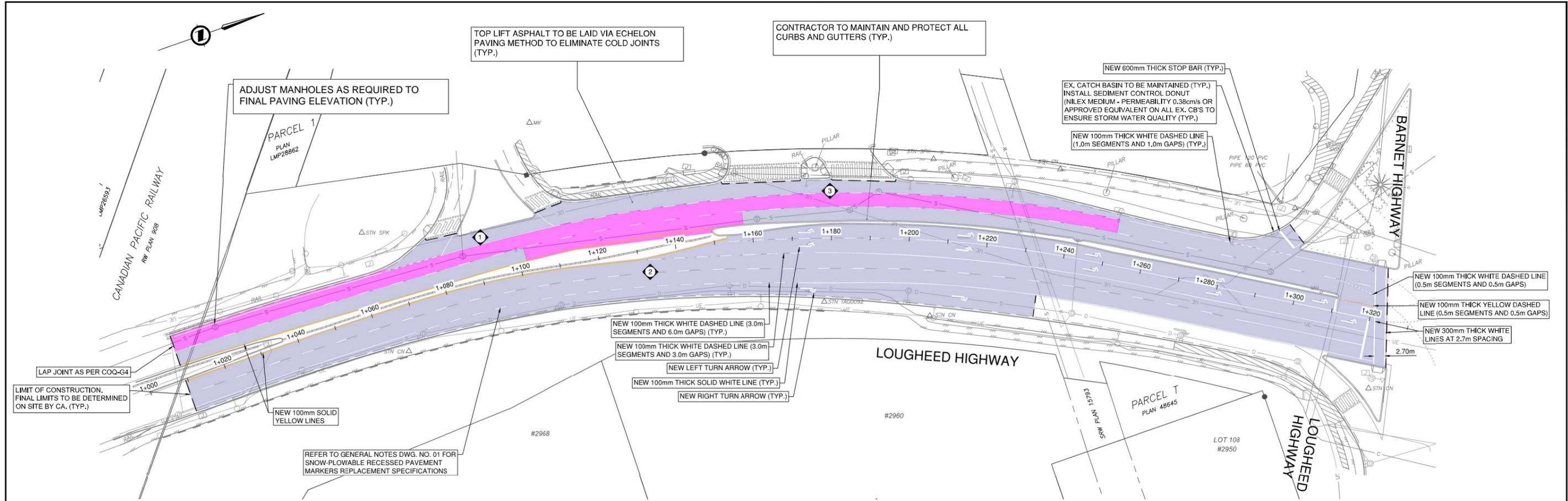
LOCATION PLAN



#201, 3999 Henning Drive, Burnaby, B.C. V5C 6P9
T: (604)629-2696 F: (604)629-2698

Permit to Practice
ISL Engineering and Land Services Ltd.
RR Signature: *G. De Souza Ataide*
RR EGBC ID: 42221
Date: 2025-04-01
Permit Number 1000419
Engineers & Geoscientists British Columbia



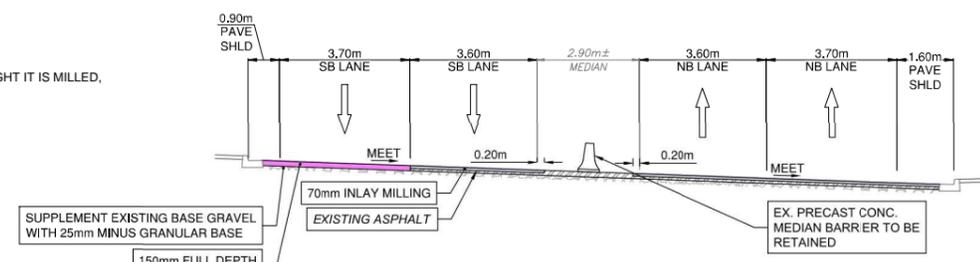


PLAN
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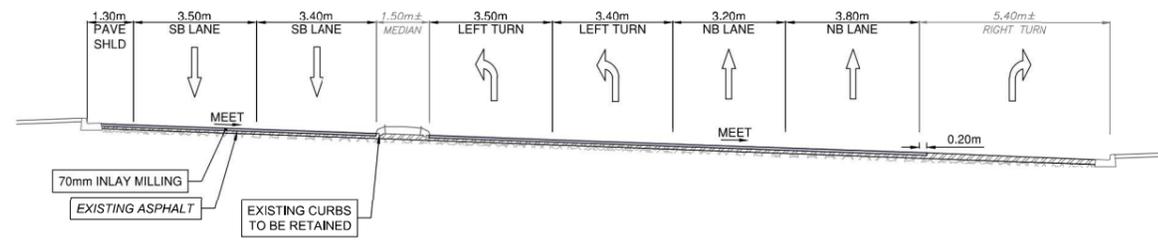
- 150mm FULL DEPTH MILL AND PAVING**
1. DETERMINE FINAL LIMITS OF ROAD TREATMENT WITH CONTRACT ADMINISTRATOR.
 2. FULL DEPTH MILL THE EXISTING ASPHALT SURFACES & GRAVEL TO A DEPTH OF MIN 150mm.
 3. SUPPLEMENT WITH 25mm MINUS GRANULAR BASE MATERIAL, RESHAPE TO PROPOSED GRADES AND COMPACT TO NO LESS THAN 95% MODIFIED PROCTOR DENSITY.
 4. PROOF ROLL AND OVEREXCAVATE WHERE REQUIRED AS DIRECTED BY THE CONTRACT ADMINISTRATOR.
 5. PLACE (WITH PAVER) BASE LIFT OF NEW HOT MIX ASPHALT TO 80mm THICKNESS (USE MMCD STANDARD LOWER COURSE #1 MIXTURE, COMPACTED TO NO LESS THAN 97% OF 75 BLOW MARSHALL DENSITY). BASE LIFT PAVING MUST BE COMPLETED ON THE SAME NIGHT IT IS MILLED, BEFORE RE-OPENING THE LANE TO TRAFFIC. CLEAN AND TACK-COAT ALL ASPHALT SURFACES INCLUDING JOINTS.
 6. PLACE (WITH PAVER) TOP LIFT OF NEW HOT MIX ASPHALT TO 70mm THICKNESS (USE MOTI CLASS 1, 19mm MEDIUM MIX WITH 80-100 GROUP A ASPHALT BINDER, COMPACTED TO NO LESS THAN 97% OF 75 BLOW MARSHALL DENSITY).
 7. SEAL ALL CONSTRUCTION JOINTS FOLLOWING THE COMPLETION OF PAVING, AND PRIOR TO INSTALLATION OF PAINT LINES.

- 70mm INLAY MILL AND PAVING**
1. DETERMINE FINAL LIMITS OF ROAD TREATMENT WITH CONTRACT ADMINISTRATOR.
 2. SURFACE MILL THE EXISTING ASPHALT ROAD TO A DEPTH OF 70mm.
 3. CLEAN AND TACK-COAT ALL ASPHALT SURFACES INCLUDING JOINTS.
 4. INLAY (WITH PAVER) MILLED AREA WITH NEW HOT MIX ASPHALT TO 70mm THICKNESS (USE MOTI CLASS 1, 19mm MEDIUM MIX WITH 80-100 GROUP A ASPHALT BINDER, COMPACTED TO NO LESS THAN 97% OF 75 BLOW MARSHALL DENSITY).
 5. SEAL ALL CONSTRUCTION JOINTS FOLLOWING THE COMPLETION OF PAVING, AND PRIOR TO INSTALLATION OF PAINT LINES.

- NOTES:**
1. ADJUST ALL MANHOLES, CATCHBASINS, CLEANOUTS, VALVE COVERS, INSPECTION CHAMBERS, ETC. TO GRADE AS REQUIRED.



TYPICAL SECTION AT STA 1+050
SCALE: 1:100



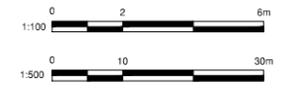
TYPICAL SECTION AT STA 1+270
SCALE: 1:100

LOUGHEED HWY - CORE REPORT - OCTOBER 2024 (METRO TESTING)

LANE	CORE NO.	METRO TESTING REFERENCE NO.	ASPHALT THICKNESS (mm)	TOP LIFT THICKNESS (mm)	COMMENTS
S/B LANE	1	9	140		TEST HOLE
NB LANE	2	10	135	35	TOP 50mm CRACKED THROUGH
S/B LANE	3	11	105	40	TOP LIFT IS S/P AND IS IN POOR CONDITION. ALLIGATOR CRACKING AND CRACKED THROUGH

LOUGHEED HWY - BOREHOLE REPORT - OCTOBER 2024 (METRO TESTING)

LANE	CORE NO.	METRO TESTING REFERENCE NO.	ASPHALT THICKNESS (mm)	COMMENTS
S/B LANE	TH #5	9	140	SEE TEST HOLE LOGS REPORT MB48393 (OCTOBER 24, 2024)



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REV NO.	REVISION DESCRIPTION	DATE	DRAWN	APPRD
A	PRELIMINARY DESIGN	2025-03-05	DW	GA
B	ISSUED FOR TENDER	2025-04-01	DW	GA



ROAD WORKS

**LOUGHEED HIGHWAY
PAVEMENT REHABILITATION**



ISSUED FOR TENDER



SCALE	AS SHOWN	CREATION DATE	2025-FEB
DRAWN BY	DW	DESIGN BY	GA/RF
CHECKED BY	CJB/RF	APPROVED BY	GA
PLOT DATE	April 1, 2025		

34095

DWG. NO.	02
OF	02
REV.	B

72494 - BARNET HWY AND LOUGHEED HWY (EAST-WEST SECTION) PAVEMENT REHABILITATION

GENERAL NOTES:

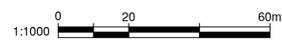
- ALL MATERIALS AND CONSTRUCTION SHALL CONFORM TO THE PLATINUM EDITION OF THE MASTER MUNICIPAL CONSTRUCTION DOCUMENTS (MMCD) AND CITY OF COQUITLAM SUPPLEMENTARY SPECIFICATIONS AND DETAIL DRAWINGS UNLESS OTHERWISE NOTED.
- THE LOCATION OF EXISTING UTILITIES IS COMPILED FROM OWNER AND UTILITY SUPPLIED RECORD DRAWINGS AND ARE CONSIDERED APPROXIMATE ONLY. THE EXACT LOCATION AND EXTENT OF UTILITIES SHOULD BE DETERMINED BY CONSULTING THE LOCAL AUTHORITIES AND UTILITY COMPANIES CONCERNED. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION AND INVERT ELEVATION BY HAND OR HYDROVAC EXCAVATION BEFORE CONSTRUCTION OF UTILITY CROSSINGS AND SHALL BE RESPONSIBLE FOR RESTORATION OF ANY DAMAGE TO EXISTING UTILITIES. ANY COSTS ASSOCIATED WITH UTILITY CONFLICTS THAT WERE NOT PRELOCATED WILL BE THE CONTRACTORS RESPONSIBILITY.
- NOTIFY THE CITY OF COQUITLAM 48 HOURS IN ADVANCE OF ANY CONSTRUCTION OR UTILITY RELOCATION.
- REPORT ANY DISCREPANCIES TO THE DESIGN ENGINEER A MIN 72 HOURS PRIOR TO CONSTRUCTION.
- RESTORATION OF EXISTING DRIVEWAYS AND WALKWAYS TO CONFORM TO CITY SPECIFICATIONS.
- BOULEVARDS ARE TO BE CONSTRUCTED TO THE PLATINUM EDITION OF THE MASTER MUNICIPAL CONSTRUCTION DOCUMENTS (MMCD) AND CITY OF COQUITLAM SUPPLEMENTARY SPECIFICATIONS AND DETAIL DRAWINGS UNLESS OTHERWISE SHOWN ON CONTRACT DRAWINGS. BOULEVARDS TO BE SLOPED TO INSPECTION CHAMBERS WHERE APPLICABLE.
- EVERY EFFORT IS TO BE MADE TO SAVE EXISTING LANDSCAPING WITHIN THE ROAD R.O.W. LANDSCAPING IS TO BE RESTORED TO ITS ORIGINAL OR BETTER CONDITION. IN THE EVENT OF LANDSCAPING REMOVAL THE PROPERTY OWNER SHALL BE ADVISED OF THE REMOVAL AND THE LANDSCAPING PLACED IN OWNERS PROPERTY UPON THEIR REQUEST.
- ALL SURVEY MONUMENTS WITHIN THE PROJECT BOUNDARIES SHALL BE PROTECTED DURING THE COURSE OF THE WORK. SHOULD ANY SURVEY MONUMENT REQUIRE RAISING OR RELOCATION, THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEERING AND OPERATIONS DEPARTMENT AT LEAST 72 HOURS IN ADVANCE OF SCHEDULING WORK. ALL DISTURBED MONUMENTS WILL BE REPLACED BY A B.C. LAND SURVEYOR AT THE CONTRACTOR'S EXPENSE.
- SURVEY PINS DISTURBED DURING THE COURSE OF CONSTRUCTION SHALL BE REPLACED BY A B.C. LAND SURVEYOR AT THE CONTRACTOR'S EXPENSE.
- ALL PUBLIC ROADWAYS AFFECTED BY THE WORKS SHALL BE KEPT IN A CLEAN STATE AT ALL TIMES. DUST CONTROL MEASURES SHALL ALSO BE EMPLOYED DURING THE COURSE OF THE WORK.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES, AND FOR COORDINATING THE VARIOUS PARTS OF THE WORK. THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT THERE IS NO DISRUPTION TO SERVICE, AND IF DISRUPTION IS ANTICIPATED, TO NOTIFY THE DESIGN ENGINEER A MINIMUM OF 72 HOURS PRIOR, AND OBTAIN APPROVAL FOR THE DISRUPTION.
- THE CONTRACTOR SHALL PROVIDE TEMPORARY UTILITY POLE SUPPORTS NECESSARY TO COMPLETE THE WORKS AS AN INCIDENTAL ITEM TO GENERAL CONTRACT REQUIREMENTS WHERE AND AS REQUIRED.
- CONTRACTOR TO MAINTAIN AN UP TO DATE SET OF AS-CONSTRUCTED DRAWINGS AT ALL TIMES. AS-CONSTRUCTED DRAWINGS TO BE DELIVERED TO THE ENGINEER AT SUBSTANTIAL PERFORMANCE FOR PREPARATION OF FINAL RECORD DRAWINGS. THE ENGINEER SHALL BE PROVIDED ACCESS TO REVIEW THE AS-CONSTRUCTED DRAWINGS AT ALL TIMES TO CONFIRM THEY ARE UP TO DATE.
- THE CONTRACTOR SHALL MAINTAIN AND MONITOR THE PROVISIONS FOR EROSION CONTROL AND SEDIMENT AS PER CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL ADJUST ALL AFFECTED MANHOLE FRAME AND COVERS A MIN. 24 HOURS PRIOR TO FINAL TOP LIFT PAVING. ANY ADJUSTMENTS THAT DO NOT MEET MMCD TOLERANCES SHALL BE IMMEDIATELY RESET AND CORRECTED.
- ALL PAVEMENT MARKINGS PAINT TO BE THERMOPLASTIC.
- ALL TOP LIFT PAVING JOINTS TO BE LOCATED UNDER THE THERMOPLASTIC CENTERLINE PAVEMENT MARKINGS.
- ALL ASPHALT JOINTS MUST BE SMOOTH AND WITHOUT VISIBLE BREAKS IN GRADE.
- SUBMIT DENSITY TESTS TAKEN ON JOINTS. NO INDIVIDUAL TEST LESS THAN 95% DENSITY.
- ALL LANE DIMENSIONS ARE MEASURED TO THE CENTER OF LANE LINES (FOR DOUBLE LINE THE MEASUREMENT IS TO THE MIDDLE POINT BETWEEN THE 2 LINES).

TRAFFIC MANAGEMENT, NOTIFICATION AND APPROVALS NOTES:

- THE CONTRACTOR SHALL PROVIDE CONSTRUCTION SIGNAGE, BARRIERS, FLASHING INDICATORS, ETC. AT ALL TIMES TO ENSURE THE SAFETY OF THE PUBLIC. TRAFFIC CONTROL WILL BE REQUIRED FOR ALL CONSTRUCTION WORKS WITHIN THE TRAVELED PORTION OF THE ROAD. NO ROAD SHALL BE CLOSED WITHOUT THE WRITTEN CONSENT OF THE DIRECTOR OF ENGINEERING AND OPERATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISPOSAL OF ALL EXCAVATED MATERIAL UNSUITABLE FOR REUSE AT A SUITABLE OFF-SITE DISPOSAL AREA, IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.
- THE CONTRACTOR SHALL ENSURE THAT ALL APPROVALS REQUIRED FOR THE PROPOSED WORKS HAVE BEEN OBTAINED FROM ALL AUTHORITIES AND AGENCIES PRIOR TO COMMENCING THE WORK.
- THE CONTRACTOR SHALL ARRANGE FOR, AND COORDINATE THE WORKS DONE BY:
 - CITY OF COQUITLAM; AND
 - FRANCHISE UTILITIES (BC HYDRO, FORTIS GAS, BC TRANSMISSION CORP., SHAW CABLE, TELUS AND METRO VANCOUVER).
- THE CONTRACTOR SHALL CONTACT THE APPROPRIATE PERSONNEL AT LEAST 72 HOURS PRIOR TO THE WORK. SCHEDULING AND OTHER CONSTRUCTION CONSTRAINTS IMPOSED BY THESE WORKS SHALL BE TAKEN INTO ACCOUNT.
- RESIDENTS DIRECTLY AFFECTED BY CONSTRUCTION OF THESE WORKS AND SERVICES SHALL BE GIVEN 5 DAYS WRITTEN NOTICE OF THE PROPOSED START OF CONSTRUCTION. THE CONTRACTOR IS TO DISTRIBUTE A NOTICE OF CONSTRUCTION LETTER TO ALL AFFECTED RESIDENTS AND BUSINESSES. FOLLOWING CONSTRUCTION ACTIVITY ON ANY PRIVATE PROPERTY, A WRITTEN RELEASE MAY BE REQUIRED FROM THE PROPERTY OWNER AT THE DISCRETION OF THE CITY.
- A TRAFFIC AND PEDESTRIAN SAFETY CONTROL PLAN SHALL BE SUBMITTED BY THE CONTRACTOR PRIOR TO THE PRE-CONSTRUCTION MEETING.
- APPROVALS FOR REQUIRED TREE CUTTING OR TRIMMING NOT INDICATED IN CONTRACT DRAWINGS SHALL BE OBTAINED BY THE CONTRACTOR FROM THE CITY PRIOR TO WORK BEING PERFORMED.
- CONTRACTOR TO OBTAIN APPROVED LANE CLOSURE REQUEST FORM FOR ALL WORKS. APPROVED REQUESTS ARE CIRCULATED TO ALL EMERGENCY SERVICES.
- CONTRACTOR TO SUBMIT A TRAFFIC MANAGEMENT PLAN WITH LANE CLOSURE REQUEST FOR ALL MAJOR ROADS AND ANY LOCAL ROADS WHICH REQUIRE ANY DETOURS.
- ALL TRAFFIC CONTROL TO CONFORM TO THE LATEST EDITION OF THE BC TRAFFIC CONTROL MANUAL FOR WORK ON ROADWAYS.
- APPROVAL OF NOISE VARIANCE FOR ALL WORK OUTSIDE OF NORMAL APPROVED WORK HOURS REQUIRED BY THE CITY.
- NOTICE OF CONSTRUCTION SIGNS TO BE INSTALLED AT ALL PROJECT LIMITS AND PREFERRED DETOUR ROUTE. NOTIFY CONTRACT ADMINISTRATOR WITH CONSTRUCTION SCHEDULE AND LOCATIONS. SIGNS PROVIDED AND INSTALLED BY THE CONTRACTOR.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR COMPLETION OF ALL TAPED TEMPORARY AND PERMANENT PAINT AND THERMOPLASTIC PAVEMENT MARKINGS IN THE PLACE OF THE WORK. PERMANENT LANE MARKINGS ARE TO BE PLACED WITHIN SEVENTY-TWO (72) HOURS OF FINAL PAVING AND PERMANENT THERMOPLASTIC PAVEMENT MARKINGS ARE TO BE PLACED WITHIN FIVE (5) DAYS OF FINAL PAVING. ALL TEMPORARY MARKINGS TO BE REMOVED IMMEDIATELY FOLLOWING PLACEMENT OF PERMANENT PAVEMENT MARKINGS.
- THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE TRAFFIC MANAGEMENT DETAILED SPECIFICATIONS IN THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL COORDINATE ANY TEMPORARY RELOCATION OF BUS STOPS WITH COAST MOUNTAIN BUS COMPANY.

SNOW-PLOWABLE RECESSED PAVEMENT MARKERS (SRM) NOTES:

- NO SRM'S TO BE INSTALLED ALONG EXISTING AND PROPOSED ROAD SHOULDER WHITE FOG LINES.
- SRM'S TO MATCH COLOUR OF LANE PAVEMENT MARKING
- SRM'S TO BE PLACED 300mm IN ADVANCE OF BROKEN/DASHED LINES
- SRM'S TO BE OFFSET 50mm TO THE RIGHT OF SOLID LINES
- SRM'S TO BE SPACED AS FOLLOWS:
 - EXISTING AND PROPOSED BROKEN LANE LINES - 26m
 - EXISTING AND PROPOSED SOLID LANES LINES - 26m
 - PROPOSED SOLID EDGE LINES - 26m
 - EXISTING AND PROPOSED DECELERATION DASHED LINES - 12m
 - SOLID INTERSECTION APPROACH LINES - 12m
- WHERE PAVEMENT MARKING LENGTHS ARE NOT SUFFICIENT FOR DESCRIBED SPACING, SRM'S ARE TO BE INSTALLED AT THE BEGINNING AND END OF THE PAVEMENT MARKING
- TOP OF REFLECTORS TO BE RECESSED BELOW THE ASPHALT SURFACE WITHIN A MILLED SLOT AS PER BC MOT MANUAL OF STANDARD TRAFFIC SIGNS AND PAVEMENT MARKINGS, CHAPTER 7.5.1.
- RECESSED PAVEMENT MARKERS TYPE TO MATCH EXISTING (EXCLUDES METAL CRADLE).



Edge of pavement	Hydrant	Sanitary service	Hydro Guy Wire
Watermain and valve	Water air valve	Sanitary cleanout	Hydro Kiosk
Drainage ditch	Water blowoff	Utility pole (joint pole)	Vegetation Conifer
Sanitary sewer, MH	Water service	Utility pole with light	Vegetation Deciduous
Sanitary forcemain	Catch basin, top inlet	Streetlight, davit	Vegetation Shrub
Gasmain and valve	SFM - Catch basin, side inlet	Streetlight, post top	Survey Traverse Hub
Hydro duct, MH	Catch basin, round	Comb signal pole	Survey Iron Pin
Telephone duct, MH	UE - Drainage service	Traffic signal pole	Survey Lead Plug
	Drainage cleanout	Junction box	Survey Monument

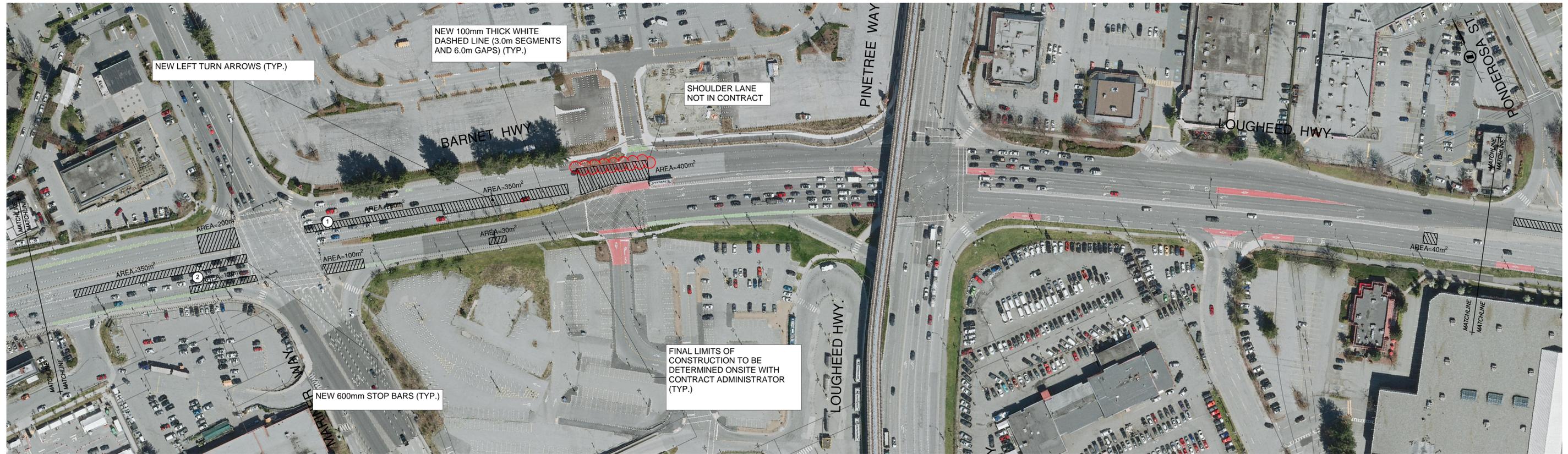
No.	Date	By	Revisions

Design by	Date
Drawn by	Date
R.D.	3 APRIL 2025
Checked by	Date
Approved by	Date

Coquitlam
Engineering & Public Works
3000 Guildford Way, Coquitlam, B.C. V3B 7N2

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Eng. Project No.			

Project	BARNET HWY. AND LOUGHEED HWY. (E-W) SECTION - PAVEMENT REHABILITATION
Description	2025 BARNET HIGHWAY PAVING
File	25Barnet04030415K0



UP TO 75mm INLAY MILL AND PAVING (WEST OF PINETREE WAY)

1. DETERMINE FINAL LIMITS OF ROAD TREATMENT WITH CONTRACT ADMINISTRATOR. CONTRACTOR TO TEST MILL SECTIONS WEST OF PINETREE WAY. FINAL DEPTH TO BE DETERMINED BY CONTRACT ADMINISTRATOR.
2. SURFACE MILL THE EXISTING ASPHALT ROAD TO A DEPTH OF UP TO 75mm
3. CLEAN AND TACK-COAT ALL ASPHALT SURFACES INCLUDING JOINTS.
4. INLAY (WITH PAVER) MILLED AREA WITH NEW HOT MIX ASPHALT TO UP TO 75MM THICKNESS. (USE MOTI CLASS 1, 19mm MEDIUM MIX WITH 80-100 GROUP A ASPHALT BINDER, COMPACTED TO NO LESS THAN 97% OF 75 BLOW MARSHALL DENSITY.)
5. SEAL ALL CONSTRUCTION JOINTS FOLLOWING THE COMPLETION OF PAVING, AND PRIOR TO INSTALLATION OF PAINT LINES.

NOTES:

1. ADJUST ALL MANHOLES, CATCHBASINS, CLEANOUTS, VALVE COVERS, INSPECTION CHAMBERS, ETC. TO GRADE AS REQUIRED.

65mm INLAY MILL AND PAVING (EAST OF PINETREE WAY)

1. DETERMINE FINAL LIMITS OF ROAD TREATMENT WITH CONTRACT ADMINISTRATOR.
2. SURFACE MILL THE EXISTING ASPHALT ROAD TO A DEPTH OF 65mm.
3. CLEAN AND TACK-COAT ALL ASPHALT SURFACES INCLUDING JOINTS.
4. INLAY (WITH PAVER) MILLED AREA WITH NEW HOT MIX ASPHALT TO 65mm THICKNESS (USE MOTI CLASS 1, 19mm MEDIUM MIX WITH 80-100 GROUP A ASPHALT BINDER, COMPACTED TO NO LESS THAN 97% OF 75 BLOW MARSHALL DENSITY.)
5. SEAL ALL CONSTRUCTION JOINTS FOLLOWING THE COMPLETION OF PAVING, AND PRIOR TO INSTALLATION OF PAINT LINES.

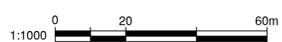
NOTES:

1. ADJUST ALL MANHOLES, CATCHBASINS, CLEANOUTS, VALVE COVERS, INSPECTION CHAMBERS, ETC. TO GRADE AS REQUIRED.



ASPHALT CORE TABLE			
CORE	THICKNESS (mm)		COMMENTS
	TOTAL	TOP	
1	135	75	TOP LIFT SUPER PAVE
2	190	70	TOP LIFT SUPER PAVE

PER METRO TESTING REPORT MB44931 - DEC 7, 2023



Edge of pavement	Hydrant	Sanitary service	Hydro Guy Wire
Watermain and valve	Water air valve	Sanitary cleanout	Hydro Kiosk
Drainage sewer, MH	Water blowoff	Utility pole (joint pole)	Vegetation Conifer
Drainage ditch	Water service	Utility pole with light	Vegetation Deciduous
Sanitary sewer, MH	Catch basin, top inlet	Streetlight, davit	Vegetation Shrub
Sanitary forcemain	SFM - Catch basin, side inlet	Streetlight, post top	Survey Traverse Hub
Gasmain and valve	G - Catch basin, round	Comb signal pole	Survey Iron Pin
Hydro duct, MH	UE - Drainage service	Traffic signal pole	Survey Lead Plug
Telephone duct, MH	T - Drainage cleanout	Junction box	Survey Monument

No.	Date	By	Revisions

Design by	Date
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R.D.	3 APRIL 2025
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Coquitlam
Engineering & Public Works
3000 Guildford Way, Coquitlam, B.C. V3B 7N2

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Project	BARNET HWY. AND LOUGHEED HWY. (E-W) SECTION - PAVEMENT REHABILITATION
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ISSUED FOR TENDER