

BOARD OF VARIANCE MEETING

Tuesday, October 28, 2025
7:00 p.m.

Council Chambers
3000 Guildford Way
Coquitlam, B.C.

Note: This meeting will be broadcast online at coquitlam.ca/webcasts.

CALL TO ORDER

ADOPTION OF MINUTES

1. **Minutes of the Board of Variance Meeting held on Tuesday, March 25, 2025**

Staff Recommendation:

That the Minutes of the Board of Variance Meeting held on Tuesday, March 25, 2025 be approved.

APPLICATIONS

2. **Owner/Applicant: Robert Fabian and Donna Huxley/Jacqueline Cruz – 223 Hart Street**

The application requests the following variances to *City of Coquitlam Zoning Bylaw No. 3000, 1996*:

- Variance to Section 2206(9)(a) of Part 22 RT-1 Infill Residential requiring that a carriage house use must be located in the rear yard.

If approved, the variance would permit the construction of a carriage house in the side yard.

NEXT MEETING DATE – November 25, 2025

ADJOURNMENT

BOARD OF VARIANCE
Tuesday, March 25, 2025

A Regular Meeting of the Board of Variance convened on Tuesday, March 25, 2025 at 7:00 p.m. in the Council Chambers, City Hall, 3000 Guildford Way, Coquitlam, B.C. with the following persons present:

BOARD MEMBERS: B. Boons, Chair
N. Chan
E. Muho

REGRETS: G. Manhas
N. Dominelli, Vice Chair

STAFF: J. Bontempo, Building Permits Manager, Approvals
E. Forrest, Planner 1
I. Flock, Planner
L. Ma, Planner
A. Mahaur, Legislative Services Clerk, Secretary to the Board
E. Murphy, Legislative Services Coordinator

CALL TO ORDER AND TERRITORIAL ACKNOWLEDGEMENT

The Chair, on behalf of the Committee, called the Meeting to order and provided an Indigenous territorial land acknowledgement.

ADOPTION OF MINUTES

1. Minutes of the Board of Variance Meeting held on Tuesday, February 25 , 2025

MOVED BY N. CHAN
AND SECONDED

The Minutes of the Board of Variance Meeting held on Tuesday, February 25, 2024 were approved.

CARRIED UNANIMOUSLY

APPLICATIONS

1. **Owner/Applicant: Matthew W. Wannop – 1202 Parkland Drive**

The application requests the following variances to *City of Coquitlam Zoning Bylaw No. 3000, 1996*:

- Relaxation to Section 1301(8)(a) for accessory buildings < 1.6 m from principal dwelling, of rear setback from 3.00 m to 0.47 m (variance of 2.53 m); and
- Relaxation to Section 1301(8)(a) for accessory buildings < 1.6 m from principal dwelling, of interior side yard setback from 1.50 m to 0.41 m (variance of 1.09 m).

The variance would allow an existing accessory building to be sited in the rear yard.

Matthew Wannop, provided the Board with an overview of the application, and noted the following relative to the application:

- History of the property, explaining its original use and how it has been transformed over time.
- Reviewed the various uses of the accessory building in recent years.
- Highlighted challenges related to property zoning and size; the lot is zoned for mobile homes and is smaller than typical, which restricts the ability to meet standard setback requirements.
- Noted the need for future live-in care due to health issues requiring ongoing support.

In response to questions from the Chair, the Building Permits Manager explained that the land is zoned for mobile home use. The modular homes intended for the site are smaller in size, and the neighborhood features a mix of zoning; however, mobile homes are only permitted on RM-H zoned lots.

Planner 1 provided clarification regarding Bill 44 and the types of units allowed on these lots. Planner 1 explained the regulations around manufactured homes and confirmed that no future homes would be permitted on the property. The focus is on the current single-family use and managing existing conditions.

The Chair requested clarification from City staff regarding the specific code issues that need to be addressed. In response, the Building Permits Manager explained that the required code updates include:

- Fire code compliance and fire resistance measures

- Setback distances from property lines
- Sanitation connections and plumbing code requirements
- Compliance with Step Code standards for energy efficiency
- Air quality controls, including heat and air exchange limits
- Installation of a permanent foundation system for the habitable structure

The chair called for speakers for the first time.

Darren Berg, appeared before the Board to express their support of the application. They clarified that the structure is not intruding on the neighborhood or the looks to the neighborhood and is in support of the compliance of homes within the community.

Mitchell Muir, appeared before the Board to express their support of the application. They commended the work on the secondary suite and stated it does not intrude on the neighborhood and agreed that the building should be compliant and follow the guidelines.

The Chair called for speakers a second and third time. There was no response and no further representation to this item.

The following submissions were received in response to the application:

Correspondence #	Correspondent	Date Received	Address/ City of Residence
1.	Ken Brett	March 18, 2025	Coquitlam, BC
2.	Nancy Huettl	March 21, 2025	Coquitlam, BC
3.	Nancy Huettl	March 21, 2025	Coquitlam, BC

MOVED BY N. CHAN
AND SECONDED

That the variance be approved, as per the application, to allow:

- Relaxation to Section 1301(8)(a) for accessory buildings < 1.6 m from principal dwelling, of rear setback from 3.00 m to 0.47 m (variance of 2.53 m); and

- Relaxation to Section 1301(8)(a) for accessory buildings < 1.6 m from principal dwelling, of interior side yard setback from 1.50 m to 0.41 m (variance of 1.09 m).

CARRIED

B. Boons, Chair registered in opposition

2. Owner/Applicant: Barry Elliot – 1143 Grover Avenue

The application requests the following variance to *City of Coquitlam Zoning Bylaw No. 3000, 1996*:

- In Subsection 1001(8)(a) of Part 10 RS-1 One-Family Residential Zone, reduce the minimum setback from an interior side lot line from 1.80 metres to 1.35 metres (variance of 0.45 meters).

If approved, the application would allow additions to the main and second floor of an existing one-family residential building.

Sara Bird, representing the owners and applicants of 1143 Grover Avenue, appeared before the Board providing an overview of the application, and noted the following relative to the application:

- The variance would allow renovation of a small room upstairs and enable the parents to live in the basement, fostering mutual support for childcare, property maintenance, and shared household expenses.
- The setback issue was discovered during the course of the renovation.

The Chair requested clarification about the alcove concerning the addition on the east side. In response to the Chair's questions, the applicant's representative explained that the alcove was added by the designer to maximize the space in the narrow room.

In response to questions from the chair, regarding both setbacks (main wall and alcove) in the application, the Building Permits Manager explained that, according to the zoning bylaw, this section is classified as an alcove. Therefore, an additional 0.6-meter setback exception applies to such features, which is added to the regular side yard setback requirements.

The Chair called for speakers three times. There was no response and no further representation to this item.

There were no submissions submitted in relation to this item.

MOVED BY E. MUHO

AND SECONDED

That the variance be approved, as per the application, to allow:

- In Subsection 1001(8)(a) of Part 10 RS-1 One-Family Residential Zone, reduce the minimum setback from an interior side lot line from 1.80 metres to 1.35 metres (variance of 0.45 metres).

CARRIED UNANIMOUSLY

ADJOURNMENT

The Chair declared the Board of Variance meeting closed at 7:40 p.m.

MINUTES CERTIFIED CORRECT

Bill Boons, Chair

Ashu Mahaur,
Legislative Service Clerk,
Secretary to the Board



BOARD OF VARIANCE APPLICATION

City of Coquitlam
Building Permits Division
3000 Guildford Way
Coquitlam, BC V3B 7N2
Tel: 604-927-3441
bovinfo@coquitlam.ca

Date: Sept 18, 2025

Property Address: 223 Hart Street

Legal Description: Lot 31, EXCEPT PART ON SRW PLAN 25898 DISTRICT LOT 1 GROUP 1 NWD PLAN 2716

Zoning: RT-1 **Date Purchased:** 2010 **Fee:**

The Board of Variance operates pursuant to the regulations as established by Section 901 of the *Local Government Act* and Board of Variance Bylaw No. 4030, 2009 (a bylaw that provides for the establishment of a Board of Variance). Please make your application in person at the Building Division's Front Counter, located on the main floor of City Hall.

Checklist Included? ☒ Yes ☐ No <i>Note: the Checklist must accompany this application</i>	Invoice To:	☐ Owner	☒ Agent
--	--------------------	--------------------------------	---

PLEASE READ CAREFULLY AND FILL OUT ACCURATELY

Is the owner aware of the application?	☒ Yes	☐ No
If appointing a representative, has the Agent Authorization section been completed?	☒ Yes	☐ No
Are digital copies of the required documents included?	☒ Yes	☐ No
Are the easements, covenants and/or rights-of-way affecting the property included?	☐ Yes	☒ No
Is the property adjacent to a ravine/slope or a stream/creek?	☐ Yes	☒ No

(Note: Describe any steep slopes, watercourses, trees, or significant environmental features on or near the site. E.g. watercourses top-of-bank or crest / toe of steep slope within 50 metres of property):

Owner(s) of Property

<u>Owner:</u>	<u>Address:</u>	<u>Phone Number:</u>	<u>Email:</u>
Robert Fabian	223 Hart St	Personal Phone Number	Personal Email Address
Donna Huxley	223 Hart St	Personal Phone Number	Personal Email Address

Project Description (Please detail the proposed construction project)

Proposed Carriage house on a lot with an existing single-family dwelling.

The proposed Carriage house will occupy the same location of the existing detached garage that demolished.

Variance Requested (Example: front yard setback from required 7.6 metres to 7.0 metres)

It was required by the building department to apply for a variance according to the comment b

10. Board of Variance is required for The City of Coquitlam Zoning Bylaw Part 22, 2206 A (9)(a):
A carriage house use must be located in the rear yard.

From the Minor Enquiry Application (24A122460 ENQ), it was noted that a variance would be re
for this application. Board of Variance approval is required prior to permit issuance.

Nature of Undue Hardship (Please detail the reason for your application – attach a separate sheet if required)

The property located at 223 Hart Street is a corner lot and the main street faces the side property line,
therefore, the location available for the proposed carriage house placement is considered side yard and a v
is required.

This image shows a single sheet of white paper with horizontal blue or grey ruling lines. The lines are evenly spaced and run across the width of the page. There are approximately 20 lines visible. The paper has a slight shadow on the right side, suggesting it's resting on a surface.

[illegible]

Member: _____

City of Coquitlam
Building Permits Division
3000 Guildford Way,
Coquitlam, BC V3B 7N2
Tel: 604-927-3441
permits@coquitlam.ca

223 Hart Street

Sept 18, 2025

Address

Date

I/we, the registered owner(s) of the **above-noted address**:

☒ Robert Fabian

Owner's name (please print)

☒ Donna Huxley

Owner's name (please print)

Hereby authorize **either** the following **company** **OR** **individual** representative to act as my/our Agent:

☒ Guthrie Residential Buildi

Agent's company or firm name – if applicable (please print)

OR ☒

Agent's individual name – if not a firm or company (please print)

☒ Jaqueline Cruz

Company/firm contact – if applicable (please print)

☒ Personal Phone Number

Company/firm contact's phone number

☒ 12655 190A Street, Pitt Meadows

Company/firm contact's address

☒ Personal Email Address

Company/firm contact's email

To (check all that apply):

- ☐ obtain file access and/or copies of plans;
- ☒ make an **application** for a permit; or
- ☒ act as my authorized agent for any matter pertaining to a permit

SIGNED BY

☒

Owner's signature

Robert Fabian

SIGNED VIA ELETRONIC
BFC18C86-AED5-44AE-8A19-8AFBEPD55E24

☒

Owner's signature

Donna Huxley

SIGNED VIA ELETRONIC
84ADB9FD-A072-45F0-89F4-B324E53DD1A7

☒ 223 Hart Street

Owner's address

☒ Personal Phone Number

Owner's phone

☒ Personal Email Address

Owner's email

Upon signing this form, it is understood, that:

1. "Owner" means a person registered in the records as the owner of land or of a charge on land, whether entitled to it in the person's own right or in a representative capacity or otherwise, and includes a registered owner.
2. "Agent" or "owner's representative" includes a person, firm or company representing the owner by designation or contract.
3. The City of Coquitlam shall deal with the above-noted Agent with respect to all matters pertaining to the building permit and is under no obligation to communicate with the Registered Owner or any other person while this appointment remains in effect.
4. The above-noted agent has authority to make all necessary arrangements with the City of Coquitlam, to perform all matters and to take all necessary proceedings with respect to the building permit.
5. A written letter from the Registered Owner(s) is required to cancel this appointment.
6. This document must be dated within 30 days of submission to the City of Coquitlam.
7. All information, including personal information, contained in this document and the building permit may be made available to the public.

CHECKLIST

[Clear Form](#)

BOARD OF VARIANCE

Planning and Development Department

Building Permits Division

604 927-3441

bovinfo@coquitlam.ca

Address: 223 Hart Street

Zone: RT-1

Date: 09/18/25

Fee:

This checklist **must** be followed and submitted with your application form. If the application is incomplete, it will affect the processing time of the pending application. City staff will review the checklist and application package. Only complete application packages will be accepted.

CHECKLIST ITEMS:

Forms, Fees and Technical Reports			
DOCUMENT	Copies Required	Details	COMMENTS
Application Form	1	A Board of Variance application form must be completed and signed at the time of submission.	
Agent Authorization Form (If applicable)	1	Where the applicant is not the owner of the property, written permission of the owner for the applicant to act on their behalf is required.	
Application Fee		A non-refundable application is required to be paid when making an application.	
Current Title Search	1	A copy of the current title search from the Land Title Office, including copies of any rights-of-way, restrictive covenants, easements, etc. that are registered on title.	

Drawings Required			
<i>In addition to hard copies, please submit digital copies (pdf format) of the following documents on a removable storage device (i.e. memory stick or CD) or email to bovinfo@coquitlam.ca</i>			
DOCUMENT	Copies Required	Details	COMMENTS
Building Elevations	2 (one full size and one 11 x 17)	- Four (4) elevations, front, rear and sides (indicating direction) - Finished grade elevations around the perimeter of the structure - Finish details and materials of exterior, including colours for proposed buildings and building additions	

BOARD OF VARIANCE CHECKLIST



Drawings Required <i>In addition to hard copies, please submit digital copies (pdf format) of the following documents on a removable storage device (i.e. memory stick or CD) or email to bovinfo@coquitlam.ca</i>			
DOCUMENT	Copies Required	Details	COMMENTS
Certified Survey Plan	1	- PID - Legal Description - Street Address, street name(s) and location, location and width of any lane(s) - Dimensions of site area - Location and dimensions of all existing buildings and structures on the site - Front, rear and side yard setbacks from buildings to lot lines - Land dedications, registered easements, encroachments and rights-of-way - Location of existing street crossings - Existing grades at each corner of the lot(s) or spot elevations of the property at one metre intervals	

Drawings Required <i>In addition to hard copies, please submit digital copies (pdf format) of the following documents on a removable storage device (i.e. memory stick or CD) or email to bovinfo@coquitlam.ca</i>			
DOCUMENT	Copies Required	Details	COMMENTS
Site Plan Proposed structures should be labelled "proposed"	2 (one full size and one 11x17)	- North arrow - Date plan prepared - Street name(s) adjacent to and fronting the site - Dimensions of the site with property lines - Location and dimensions of all buildings and structures including garages, sheds, gazebos, etc. - Variance request clearly identified and dimensioned - Existing and finished grade elevations - Location of the natural boundary of any existing watercourses or environmental features - Location of existing landscaping	

BOARD OF VARIANCE CHECKLIST

Coquitlam

DOCUMENT	Copies Required	Details	COMMENTS
Floor Plans	2 (one full size and one 11x17)	Dimensioned at a scale not less than 1:100 or 1/8" = 1'0" All storeys, including all outside dimensions of each floor Indicate all room uses and dimensions, including finished/unfinished areas All door, window and skylight locations Clear indication of proposed work for additions to an existing building	

I, the **Applicant**, certify that this application is being made with the full knowledge and consent of all Owner(s) of the property in question.

X Jaqueline Cruz X Jaqueline Cruz
Applicant's Name (please print) Applicant's Signature

X 12655 190A Street Personal Phone Number
Address Phone

X Personal Email Address X 09/18/25
Email Date

Completed by: Jaqueline Cruz

Please note, it is the responsibility of the applicant to ensure the plans that are submitted are complete and accurate. Variances will be granted (if approved) based on the plans provided.

Print Form

Board of Variance Worksheet

Coquitlam

Address: 223 HART-STREET.

Owner/Applicant: ROB/ANNA/JACQUELINE

Zone: RT-1

Date: SEPT 23, 2025

WORKSHEET ITEMS:

Bylaw section to be varied	Variance Requested
Description and Variance Intent:	Zoning Bylaw: <u>PART 22-2206-9A</u>
<u>A CARRIAGE HOUSE IS BEING PROPOSED TO BE WITHIN THE EXTERIOR SIDE YARD VS THE REAR YARD. PLEASE SEE ATTACHED AND REFER TO ENQ 2024 122460 ENQ</u>	Bylaw Requirement: <u>A CARRIAGE HOUSE MUST BE LOCATED IN THE REAR YARD.</u>
	Proposed: <u>CARRIAGE HOUSE</u>
	Variance: <u>TO BE LOCATED AT THE EXTERIOR YARD.</u>
	↓
	<u>TO LOCATE THE CARRIAGE HOUSE WITHIN THE EXTERIOR YARD.</u>

Bylaw section to be varied	Variance Requested
Description and Variance Intent:	Zoning Bylaw:
	Bylaw Requirement:
	Proposed:
	Variance:

Bylaw section to be varied	Variance Requested
Description and Variance Intent:	Zoning Bylaw:
	Bylaw Requirement:
	Proposed:
	Variance:

Completed by: CONNIE CHOW

Note that details provided on this form may be subject to change after the full review is completed by the File Manager.

From: Beattie, Wendy
Sent: Friday, November 1, 2024 10:46 AM
To: Personal Email Address
Cc: Development Information
Subject: 223 Hart Street: Backyard Suite
Attachments: Enquiry Meeting Guide (PDF).pdf; Part 11_RT1_Infill Residential.pdf

Hi Alexi,

It was a pleasure speaking with you earlier this week.

As we discussed, you are considering constructing a backyard suite (i.e. carriage house or garden cottage) on this property.

GARDEN COTTAGE means an accessory *dwelling unit* in a single storey building on a lot that is detached from the *principal building* and is subordinate to the *principal building* in terms of size, scale, and massing.

CARRIAGE HOUSE means an accessory *dwelling unit* located primarily above a detached accessory off-street parking structure that is subordinate to the *principal building* in terms of size, scale and massing, with a separate entrance directly from the exterior and all *floor area* at or above *finished grade*.

223 Hart St is zoned RT-1 Infill Residential (attached) and designated Neighbourhood Attached Residential identified in the Maillardville Neighbourhood Plan of the Southwest Coquitlam Area Plan.

Based on the lot size and width, this property qualifies for a Single Family Dwelling with a Secondary Suite OR a Backyard Suite (See Housing Choices Summary below). However, there are several provisions in the RT-1 Zoning Bylaw that may affect the feasibility of a backyard suite. I will outline key clauses below for your consideration.

Overview of Development Options and Processes

See inside this guide for information about options, and back page for information about processes.

Min. Lot Area	Min. Lot Width	Housing Option	Max. Density (FAR)	Zone	Rezoning Required	Subdivision Required ²	Development Permit (DP) Required
370 m ² (3,983 ft ²)	10 m (33 ft)/ 12 m (39 ft) ²	Single detached house ³	0.5	RT-1	⊗	⊗	⊗
370 m ² (3,983 ft ²)	10 m (33 ft)/ 12 m (39 ft) ²	Single detached house ³ with secondary suite OR backyard suite ⁴	0.6	RT-1	⊗	⊗	⊗
465 m ² (5,006 ft ²)	10 m (33 ft)/ 12 m (39 ft) ²	Duplex	0.65	RT-1	⊗	⊗	✓
555 m ² (5,974 ft ²)	10 m (33 ft)/ 12 m (39 ft) ²	Single detached house ³ w/ secondary suite AND backyard suite ⁴	0.6	RT-1	⊗	⊗	⊗
650 m ² (6,997 ft ²)	18.5 m (61 ft)	Triplex	0.75	RT-1	⊗	⊗	✓
740 m ² (7,966 ft ²)	20 m (66 ft)/ 24 m (79 ft) ²	Two single detached houses ³ (i.e. two-lot subdivision)	0.5-0.6	RT-1	⊗	✓	⊗
740 m ² (7,966 ft ²)	20 m (66 ft)	Fourplex	0.75	RT-1	⊗	⊗	✓
930 m ² (10,010 ft ²)	NA	Multiplex	0.85	RT-3	✓	⊗	✓

² A subdivision could be required depending on specific site conditions.

⁴ Width for a corner lot or a lot with no developed lane.

³ Single detached house refers to one-family residential.

⁴ Backyard suite refers to either a carriage house or garden cottage.

DISCLAIMER The City disclaims any liability arising from the use of this guide, since the information is provided only as a guide for public use and convenience. If any contradiction exists between this document and relevant City bylaws or policies, the bylaws or policies shall be the legal authority.

Parking

According to [Section 1101\(3\)\(b\)](#), an off-street parking space is required for the carriage home/garden cottage. However, under [Bill 47](#), the City is mandated to eliminate residential off-street parking requirements in Transit Oriented Areas (See [Section 706\(1\)\(b\)](#) and [Schedule O](#)). The bylaw, passed in June of this year, supersedes [Section 1101\(3\)\(b\)](#), meaning an additional parking spot is not required for the carriage home/garden cottage.

Density

The maximum density for a single family with a garden cottage/carriage house is 0.6 Floor Area Ratio (FAR). You can also add 40m² for accessory off-street parking. Please ensure that the combined floor area of the existing structures and laneway home does not exceed 0.6 FAR. The maximum floor area for a carriage house or a garden cottage use is 90m² or the total floor area of the principal building, whichever is less.

Lot Coverage

Lot coverage cannot exceed 50%. Based on rough measurements, the existing structures occupy approximately 45% of the lot coverage. Ensure that adding a backyard suite does not exceed the total lot coverage of 50%.

Setbacks

Based on the lot line definitions provided in [Parts 1&2](#) of the Zoning Bylaw, below is how each lot line is classified. Please ensure compliance with minimum setback requirements. The existing home and garage may have been built prior to the current setback regulations and could be considered legally non-conforming. However, the new carriage home/garden cottage must adhere to the current zoning bylaw.



Location

According to section 1101(9)(a) and (9)(b), carriage house or garden cottage use must be situated in the rear yard. Given the existing layout, this lot does not have a defined rear yard, necessitating a variance. Please note, you will have to prove undue hardship for the variance to be considered.

REAR YARD means the portions of a *lot* located between the *rear lot line* and the outermost projection of the rear walls of a *principal building* and extends across the full width of the *lot*.

Additionally, per Section 1101(8)(c), a minimum separation distance of 6.0 meters must be maintained between any wall face of a principal building and any wall of all detached accessory buildings and accessory off-street parking building or structures. The intent of this regulation is to ensure that there is a “usable” backyard space between the principal building and an accessory building on the ground plane. Note, this is also governed by the BC Building Code for fire mitigation.

Transit-Oriented Area

As mentioned, this property is within the Transit-Oriented Area as identified under Bill 47. It must comply with the minimum densities and heights set by the Province once this legislation is fully implemented.

Other Considerations:

Refer to Section 1101(10)(c) regarding height.

- (c) Detached *buildings* and *structures* for *carriage house use* must not exceed a *height* of:
 - (i) 5.0 metres; or
 - (ii) 7.0 metres for *buildings* and *structures* having a roof slope with a pitch of 3 in 12 or greater for an area of at least 80% of all roof surfaces.
- (d) Detached *buildings* and *structures* for *garden cottage use*, *accessory residential* or *accessory off-street parking* must not exceed a *height* measured from *finished grade*, of:
 - (i) 3.7 metres; or
 - (ii) 4.6 metres, for an *accessory building* that has a roof with a pitch of 4 in 12 or greater for an area of at least 80% of all roof surfaces.

Based on the number of complex factors, we encourage you to carefully evaluate the feasibility of your proposal. If you have a specific design in mind or are strongly considering proceeding with the proposal, you may be interested in signing up for an [enquiry meeting](#) with planning staff (see attached bulletin). This meeting is recommended for those who are seeking feedback from staff about a specific concept, plan or proposal at the earliest stages of the development process. During an enquiry meeting, staff provide general direction about how to proceed, help identify key considerations, and outline the next steps for the development application process. Staff are on able to provide high-level considerations and may not be able to make recommendations about the overall feasibility of the project. Additionally, we do require written plans or a written rationale related to the proposal prior to the meeting so that staff are able to provide the most accurate feedback possible. These meetings occur every Fridays between 9 AM and noon, with each session lasting 30 minutes and costing \$100.

Should you have any additional questions, please feel free to contact us at 604-927-3430 or devinfo@coquitlam.ca.

Thank you,

Wendy Beattie (she/her) | Planning Technician 1
City of Coquitlam | Development Planning
604-927-4391 | wbeattie@coquitlam.ca

We acknowledge with gratitude and respect that the name Coquitlam was derived from the hən̓q̓əmiṇ̓əḥ̓ word kʷikʷə́lə̌m (kwee-kwuh-tlum) meaning "Red Fish Up the River". The City is honoured to be located on the kʷikʷə́lə̌m (Kwikwetlem) traditional and ancestral lands, including those parts that were historically shared with the s̓q̓əciyaʔ tamaxʷ (Katz and other Coast Salish Peoples).

Information provided is restricted to department files and information in Development Planning only. Further information may be available from other departments. No representation is given as to the accuracy or completeness of any information provided. The information transmitted is intended only for the person or entity to which it is addressed and may contain confidential and/or privileged material. Any review, transmission, dissemination or other use of, or taking any action in reliance upon, this information by persons or entities other than the intended recipient is prohibited. If you received this in error, please contact the sender and delete the material from any computer.

TOPOGRAPHICAL SURVEY PLAN OF LOT 31, EXCEPT: PART ON SRW PLAN 25898 DISTRICT LOT 1 GROUP 1 NWD PLAN 2716

PID : 010-699-686

CIVIC ADDRESS :

223 - HART STREET
COQUITLAM, B.C.

LEGEND :

- CB  DENOTES RECTANGULAR CATCH BASIN
PP  DENOTES POWER POLE
GW  DENOTES GUY WIRE
CTR  DENOTES CONIFEROUS TREE
STP  DENOTES STUMP OF TREE
DTR  DENOTES DECIDUOUS TREE
SN  DENOTES SIGN
IC  DENOTES INSPECTION CHAMBER
STM MH  DENOTES STORM MANHOLE
RTWL  DENOTES RETAINING WALL

Lot dimensions and clearances according to
Field Survey.

This plan does not show non plan
charges, liens or interests.

This plan was prepared for inspection purposes and is
for the exclusive use of our client. The signatory
accepts no responsibility or liability for any damages
that may be suffered by a third party as a result of
any decisions made or actions taken based on this
document. This documents shows the relative location
of the surveyed structures and features with respect to
the boundaries of the parcel described above. This
document shall not be used to define property lines or
property corners. All rights reserved. No person may
copy, reproduce, transmit or alter this document in
whole or in part without the consent of the signatory.

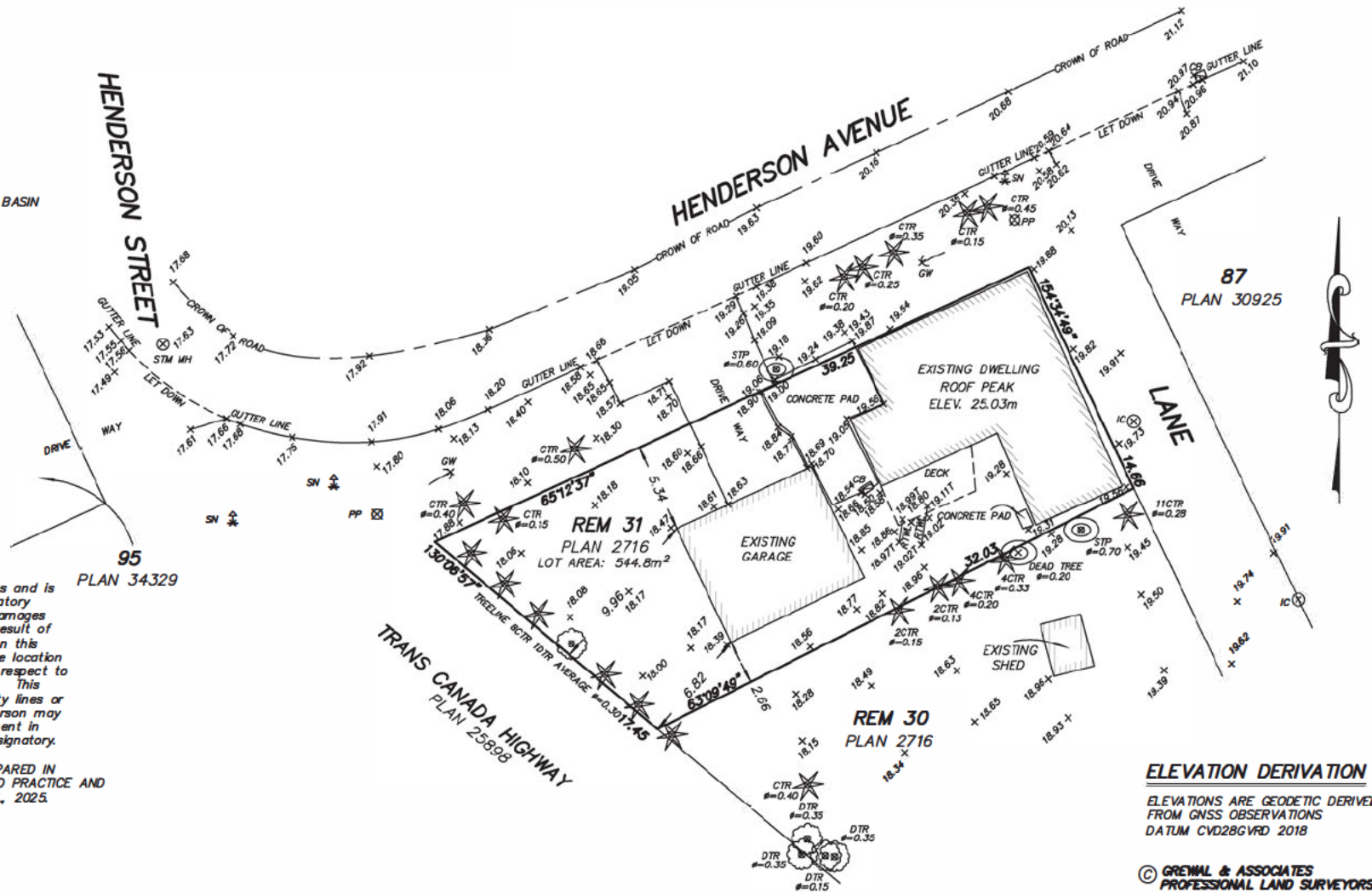
THIS TOPOGRAPHICAL SURVEY HAS BEEN PREPARED IN
ACCORDANCE WITH THE MANUAL OF STANDARD PRACTICE AND
IS CERTIFIED CORRECT THIS 3rd DAY OF APRIL, 2025.



B.C.L.S.

LAKHJOT S. GREWAL

0 5 10 15 20
SCALE 1 : 250 DISTANCES ARE IN METRES



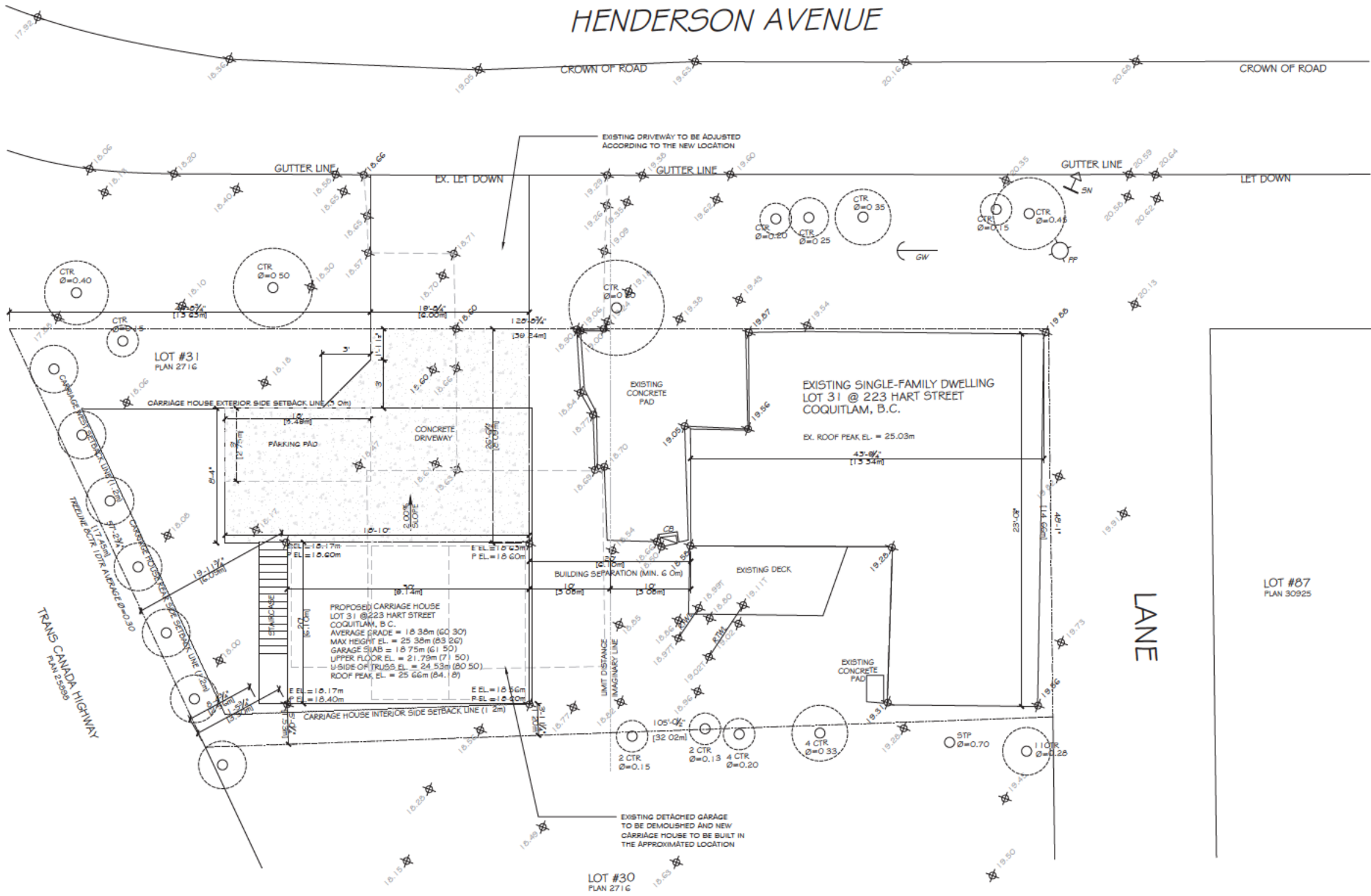
ELEVATION DERIVATION

ELEVATIONS ARE GEODETIC DERIVED
FROM GNSS OBSERVATIONS
DATUM CVD28GVRD 2018

© GREWAL & ASSOCIATES
PROFESSIONAL LAND SURVEYORS
UNIT 204, 15299 68th AVENUE
SURREY, B.C. V3S 2C1
TEL: 604 597 8567
EMAIL: Office@GrewalSurveys.com
FILE : 2503 018 T1



LEGAL DESCRIPTION: LOT 31, DISTRICT LOT 1, GROUP 1, NWD PLAN 2716, PID: 010-699-686



SITE PLAN
SCALE: 1/8"=1'

RT-1 ZONING			
LEGAL DESCRIPTION: LOT 31, DISTRICT LOT 1, GROUP 1, NWD PLAN 2716, PID: 010-699-686			
LOT AREA	8561 SQ. FT. (844.48m ²)		
	PERMITTED	EXISTING	PROPOSED
COVERED AREA (80%)			2030 SQ. FT.
EXISTING SINGLE-FAMILY DWELLING	2831 SQ. FT.	1430 SQ. FT.	1430 SQ. FT.
PROPOSED CARRIAGE HOUSE			600 SQ. FT.
FLOOR AREA RATIO (0.6 + 40% FOR ACCESSORY OFF-STREET PARKING)			
	3008 SQ. FT.		3790 SQ. FT.
EX. SFD (MAIN FLOOR AREA)		1430 SQ. FT.	1430 SQ. FT.
EX. SFD (BASEMENT AREA)		1160 SQ. FT.	1160 SQ. FT.
PROP. GARAGE FL. AREA	430 SQ. FT.		600 SQ. FT.
PROP. CARRIAGE HOUSE UPPER FL. AREA	850 SQ. FT.		600 SQ. FT.
PROPOSED CARRIAGE HOUSE SETBACKS			
FRONT YARD	N/A	-	
RIGHT SIDE	3.00m	8.09m	
LEFT SIDE	1.20m	1.20m	
REAR YARD	1.20m	3.80m	
BUILDING SEPARATION	6.00m	6.10m	
DECK AREA - PROPOSED CARRIAGE HOUSE			
SIDE ENTRANCE OPEN PORCH		22 SQ. FT.	
FRONT OPEN BALCONY		38 SQ. FT.	
IMPERMEABLE AREA CALCULATION (65% OF LOT AREA = 5564.65 SQ. FT.)			
EXISTING SINGLE-FAMILY DWELLING	1431 SQ. FT.		
EXISTING CONCRETE PAD	306 SQ. FT.		
EXISTING DECK	184 SQ. FT.		
PROPOSED CARRIAGE HOUSE	670 SQ. FT.		
PROPOSED DRIVEWAY	720 SQ. FT.		
TOTAL IMPERMEABLE AREA (67.34%)	3360.2879 SQ. FT.		

REQUIRED MINIMUM THERMAL CHARACTERISTICS (CLIMATE ZONE 4) AS PER BCBC @ 30.3.7 A48 2024	
DESCRIPTION	SPECIFICATION
WINDOWS	USH 1.44 (SHGC 0.28)
ENTRANCE DOORS	USH 1.54
ELECTRIC TANK	40-60 GALLON 0.88 EF
HEAT PUMP	HSFP 7.8, SEER 8 OR BETTER
VENTILATION	CONTINUOUS EXHAUST FAN 2.1 US



TEL: (604) - 905- 6800
EMAIL: info@corevalhomes.com

ADDRESS:
GUTHRIE RESIDENTIAL BUILDERS
102 - 12635 190A STREET
PITT MEADOWS, B.C. V3Y 0E6

ROB FABIAN
GRD25-2012

THESE PLANS CONFORM TO
REQUIREMENTS IN THE BCBC
2024

PROPOSED CARRIAGE HOUSE

223 HART STREET

COQUITLAM, B.C.

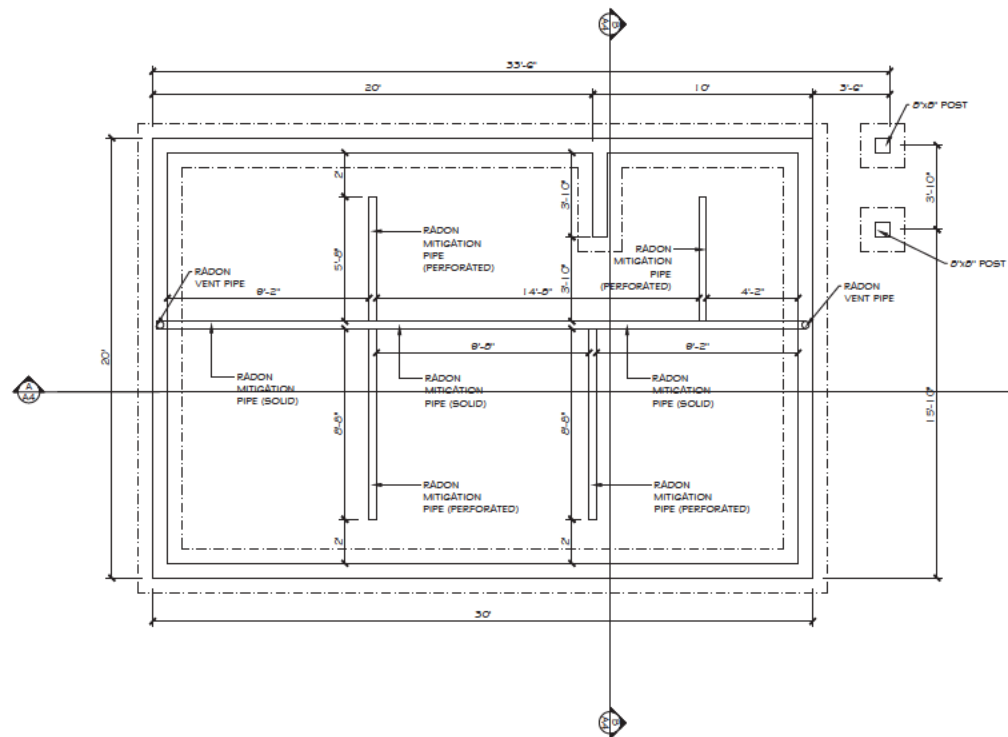
TITLE	SITE PLAN
SCALE	AS INDICATED
DATE	2025-08-18
DESIGNER	JACQUELINE CRUZ
PROJ. MANAGER	

AI

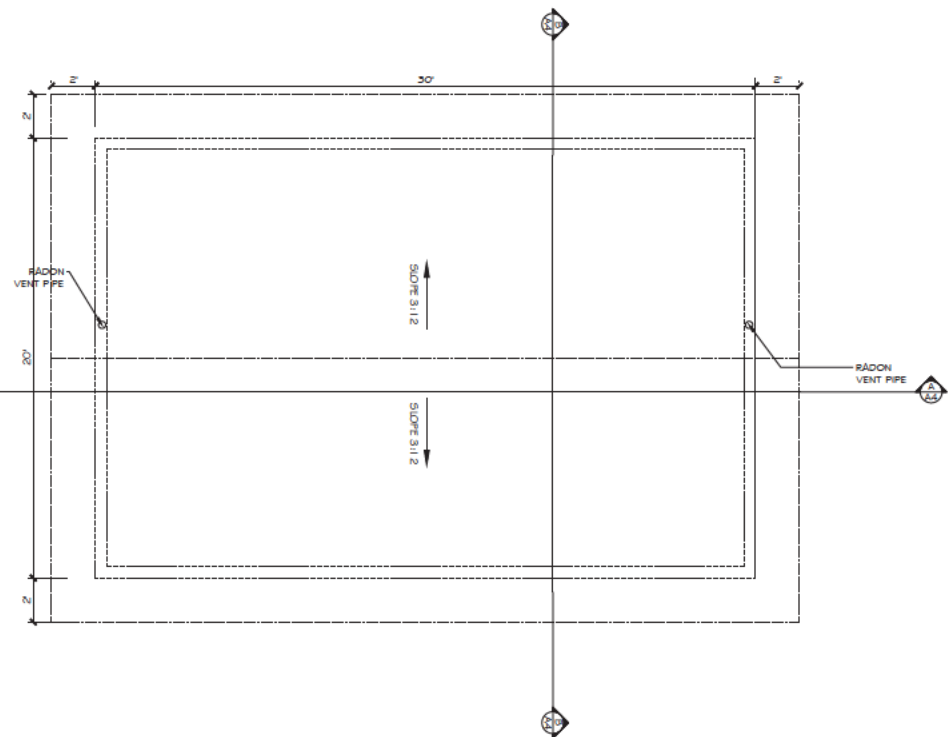


TEL: (604) - 905- 8800
EMAIL: info@corevalhomes.com
ADDRESS:
GUTHRIE RESIDENTIAL BUILDERS
102 - 12635 190A STREET
PITT MEADOWS, B.C. V3Y 0E8

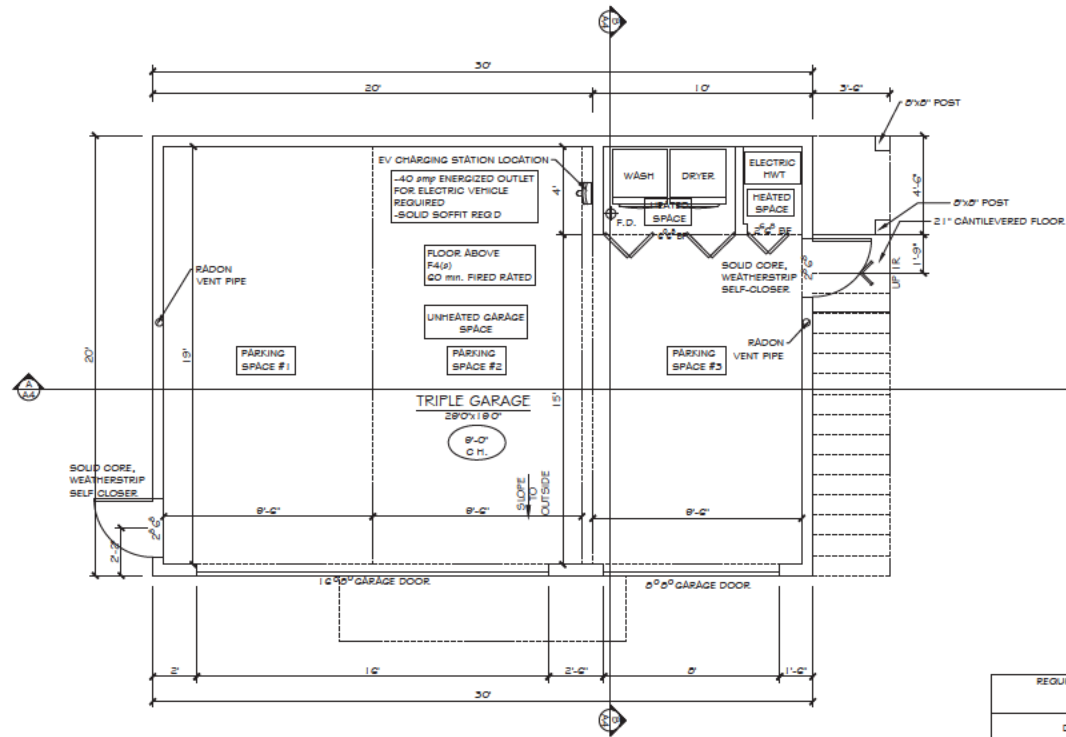
ROB FABIAN
GRD25-2012



FOUNDATION PLAN
SCALE: 1/4"=1'



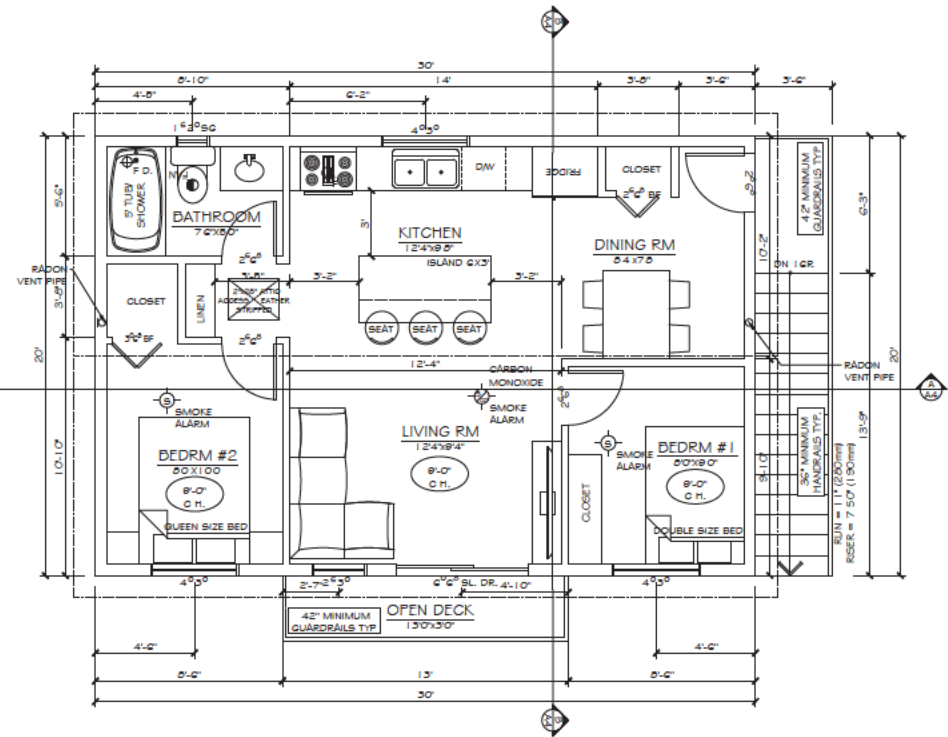
ROOF PLAN
SCALE: 1/4"=1'



GROUND FLOOR
SCALE: 1/4"=1'

GROSS FLOOR AREA	6008 SQ. FT.
GARAGE AREA	509 SQ. FT.

REQUIRED MAXIMUM THERMAL CHARACTERISTICS (CLIMATE ZONE 4) AS PER BCBC 9.3.2.7 AND 2024	
DESCRIPTION	SPECIFICATION
WINDOWS	US11.44 (SHGC 0.25)
ENTRANCE DOORS	US11.84
ELECTRIC TANK	40-60 GALLON 0.09 EF
HEAT PUMP	HSFP 7.0, SEER 1.8 OR BETTER
VENTILATION	CONTINUOUS EXHAUST FAN 2.1 US



UPPER FLOOR
SCALE: 1/4"=1'

GROSS FLOOR AREA	6008 SQ. FT.
------------------	--------------

HEATING:
ELECTRIC HEAT PUMP

THESE PLANS CONFORM TO
REQUIREMENTS IN THE BCBC
2024

PROPOSED CARRIAGE HOUSE

223 HART STREET

COQUITLAM, B.C.

TITLE	FOUNDATION, FLOOR AND ROOF PLAN
SCALE	AS INDICATED
DATE	2025-08-18
DESIGNER	JACQUELINE CRUZ
PROJ. MANAGER	

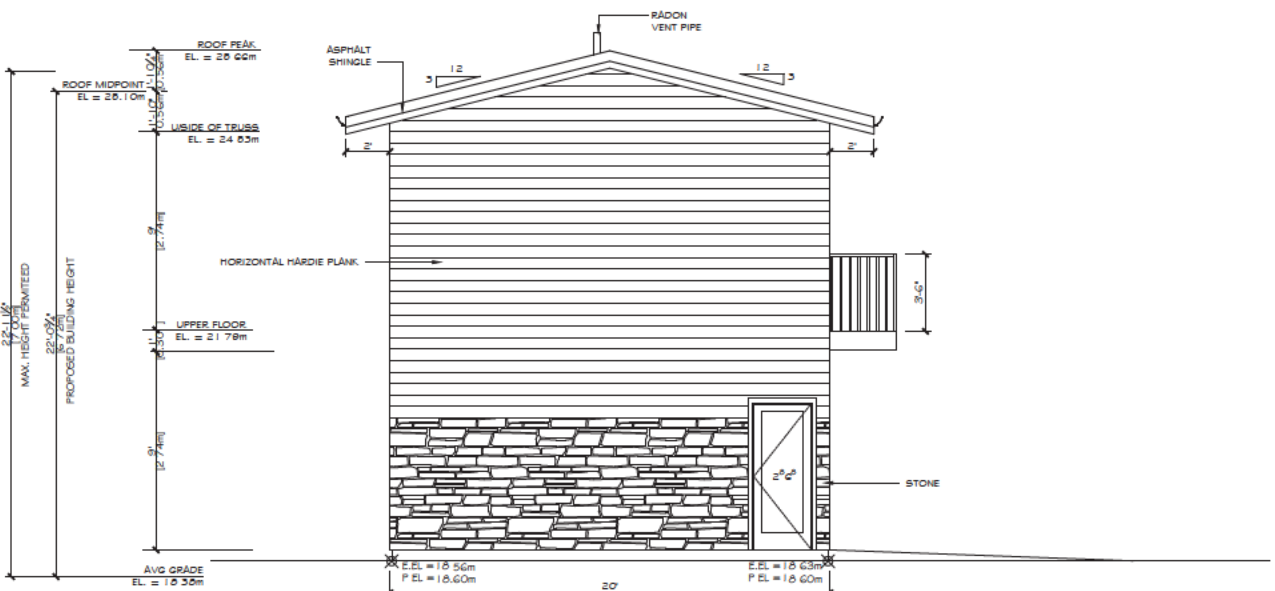
A2



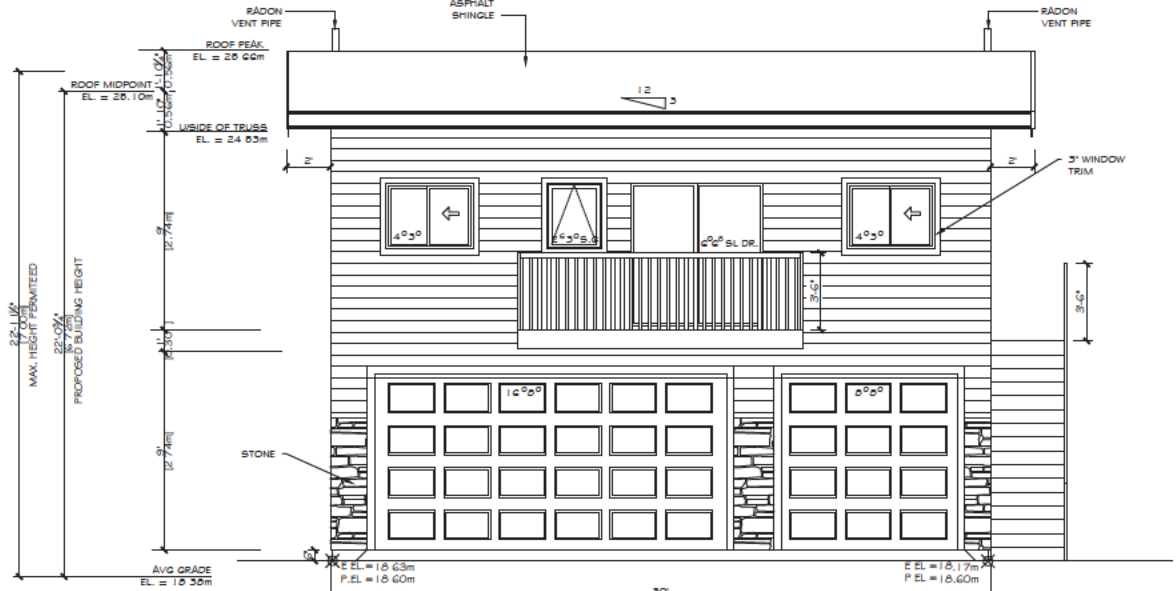
TEL: (604) - 905- 6800
EMAIL: info@corevalhomes.com

ADDRESS:
GUTHRIE RESIDENTIAL BUILDERS
102 - 12635 190A STREET
PITT MEADOWS, B.C. V3Y 0E6

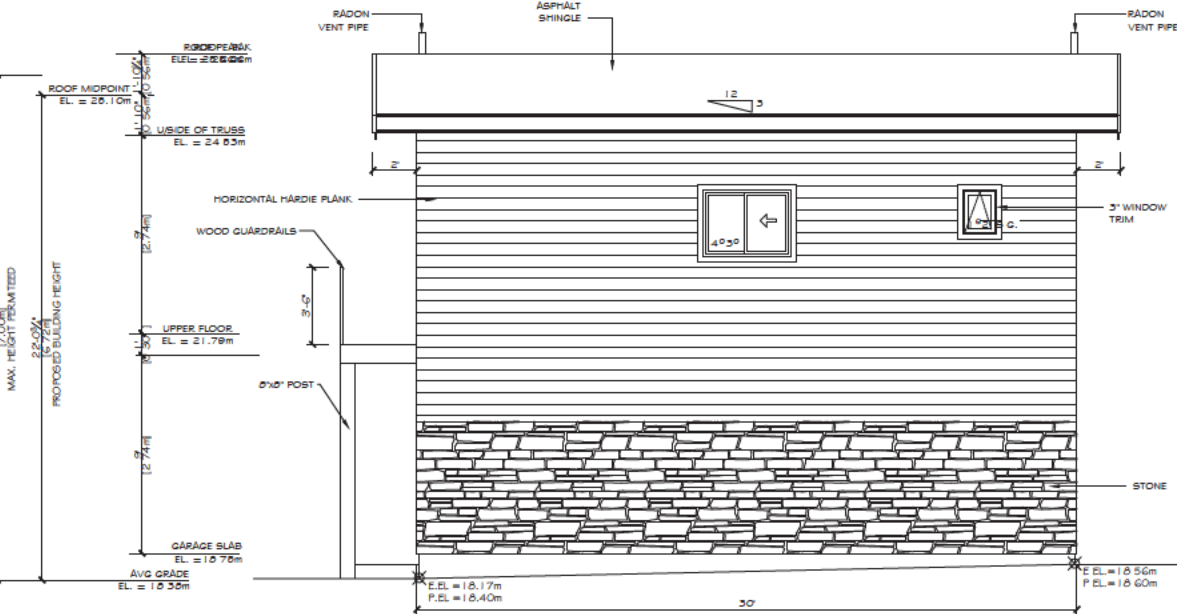
ROB FABIAN
GRD25-2012



EAST ELEVATION(FACING MAIN HOUSE)
SCALE: 1/4"=1'



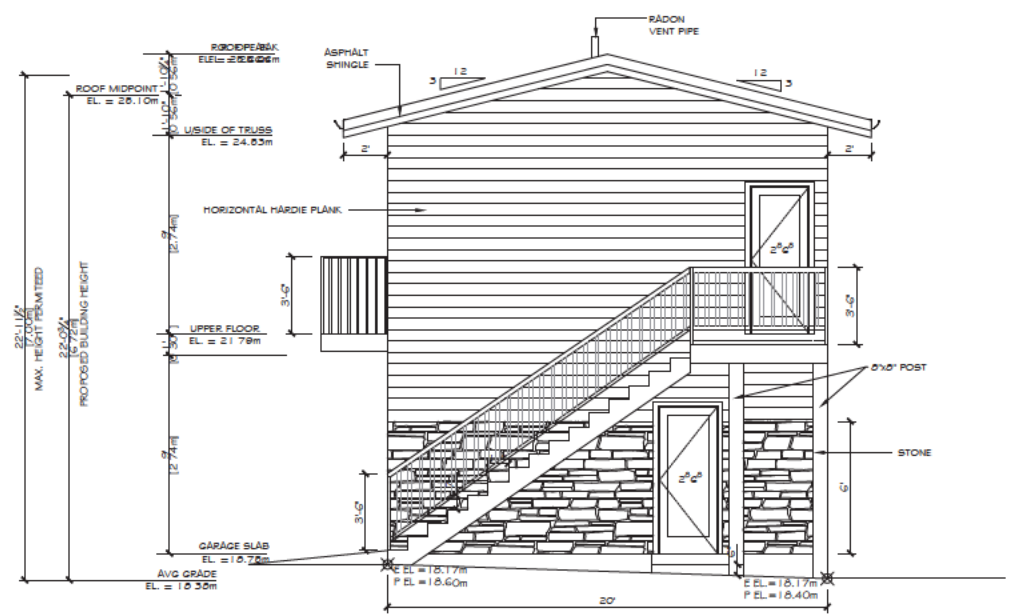
NORTH ELEVATION
SCALE: 1/4"=1'



SOUTH ELEVATION
SCALE: 1/4"=1'

LIMITING DISTANCE	1.20
TOTAL EXPOSED WALL AREA	574 SQ. FT.
PERMITTED OPENING (7.00%)	40 SQ. FT.
PROPOSED OPENING (2.61%)	15 SQ. FT.

REQUIRED MAXIMUM THERMAL CHARACTERISTICS (CLIMATE ZONE 4) AS PER BCBG 9 30 27 44B 2024	
DESCRIPTION	SPECIFICATION
WINDOWS	US1 1.44 (SHGC 0.25)
ENTRANCE DOORS	US1 1.04
ELECTRIC TANK	40-50 GALLON 0.58 EF
HEAT PUMP	HSFP 7.5, SEER 15 OR BETTER
VENTILATION	CONTINUOUS EXHAUST FAN 21 US



WEST ELEVATION
SCALE: 1/4"=1'

HEATING:
ELECTRIC HEAT PUMP

THESE PLANS CONFORM TO
REQUIREMENTS IN THE BCBG
2024

PROPOSED CARRIAGE HOUSE

223 HART STREET
COQUITLAM, B.C.

TITLE	ELEVATIONS
SCALE	AS INDICATED
DATE	2025-08-18
DESIGNER	JACQUELINE CRUZ
PROJ. MANAGER	

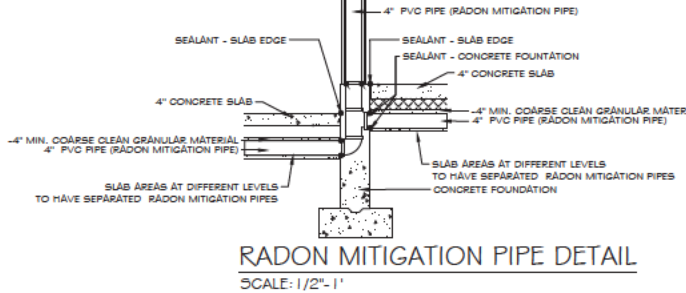
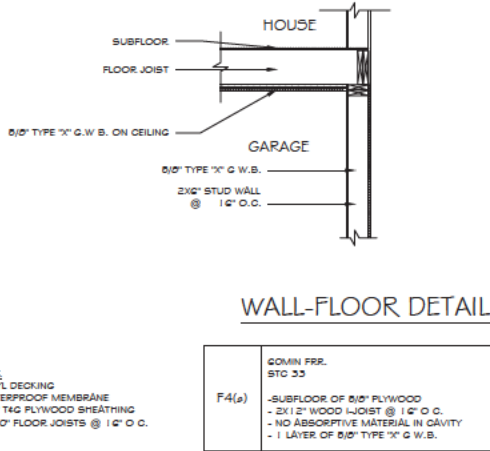
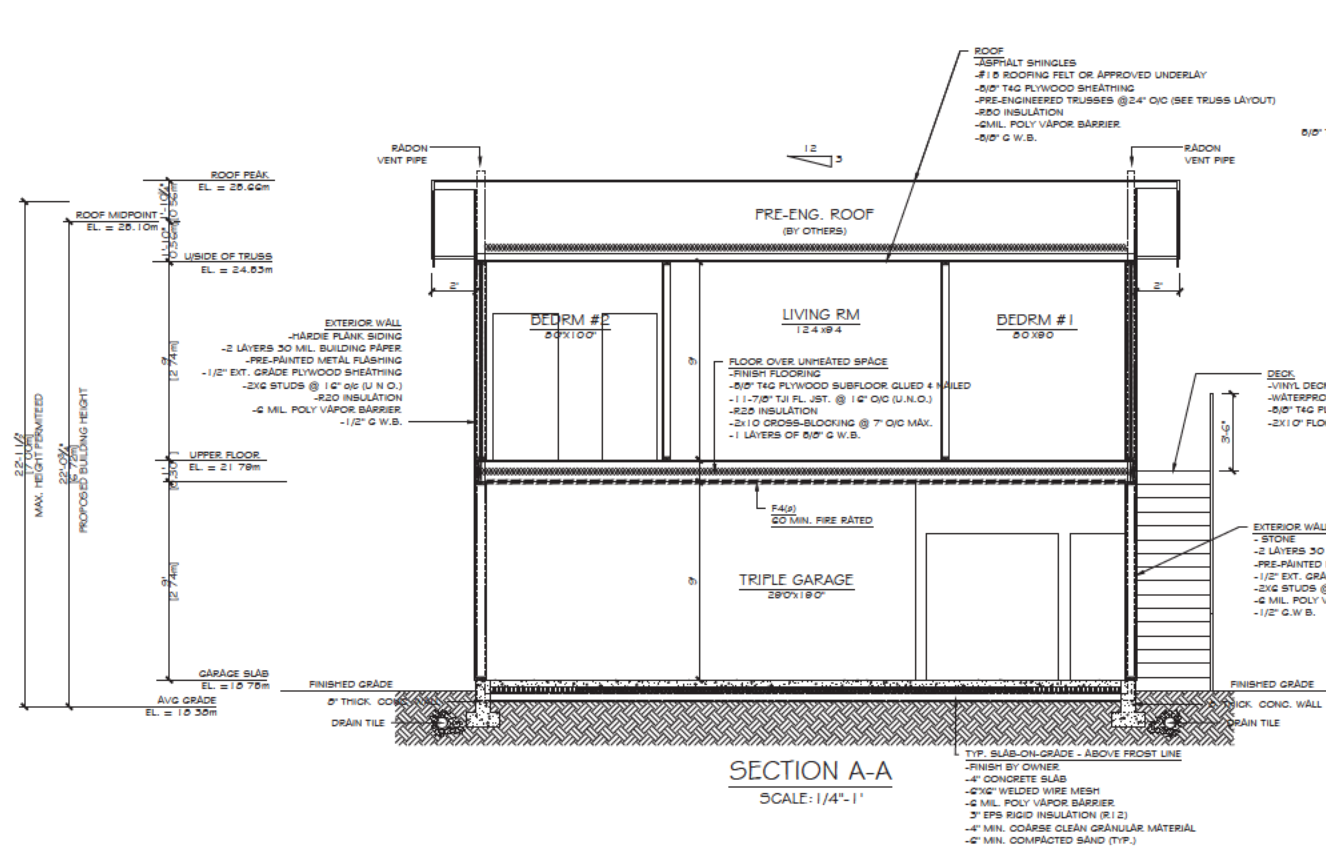
A3



TEL: (604) - 905- 6800
EMAIL: info@corevalhomes.com

ADDRESS:
GUTHRIE RESIDENTIAL BUILDERS
102 - 12635 190A STREET
PITT MEADOWS, B.C. V3Y 0E6

ROB FABIAN
GRD25-2012



Checklist Last Updated: 2025-05-14

ENERGY STEP CODE
BC STEP CODE COMPLIANCE CHECKLIST
PERFORMANCE PATHS FOR PART 1 BUILDINGS

A: PROJECT INFORMATION

Building Permit #: [Blank]
Builder: Coreval Homes
Project Address: 223 Hart St.
Municipality / District: Coquitlam
Postal Code: V3K 4A2
PID or Legal Description: 013-608-688

Pre Construction
Building Type: [Blank]
Lifestyle House
of Dwelling Units: 1

B: CODE COMPLIANCE SUMMARY

BC Building Code Performance Compliance Path:
9.36.6. BC Energy Step Code ERS

Energy Step Code
Step Required: 3
Proposed Step Achieved: 3

Zero Carbon Step Code
Level Required: EL 1 - Measure Only
Proposed Level Achieved: EL 1 - Measure Only

Based on info provided by the builder & the following drawings:
Plan Author: Jacqueline Cruz
Plan Version: Same as date below
Plan Date: March 26, 2025

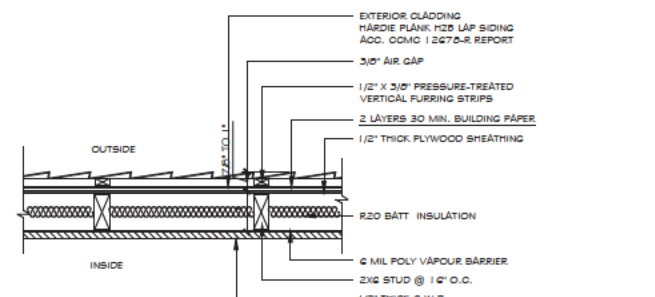
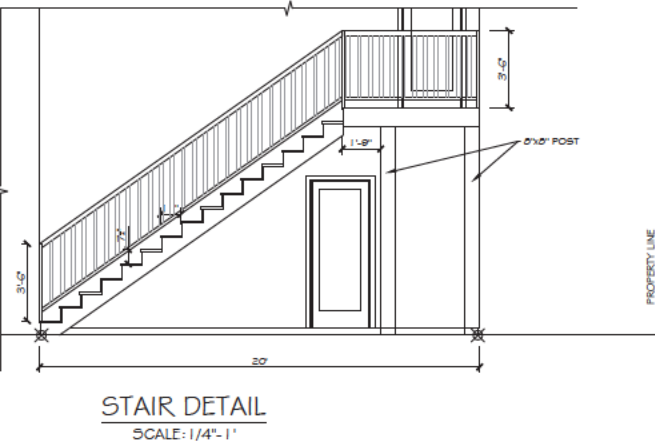
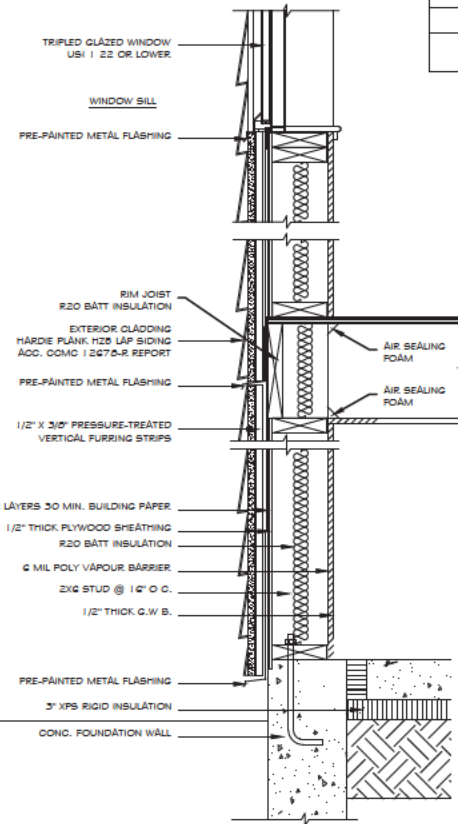
C: COMPLETED BY

Full Name (Print): Peter Cho
Company Name: City Green Solutions
Phone: 778-316-8053
Address: 214-630 View St. Victoria, BC V8W 1J8
Email: petercho@citygreensolutions.com

Date (YYYY-MM-DD): 2025-05-14
Service Organization: City Green Solutions
Energy Auditor ID #: 7929
CORREC passed in Field & of check: 1

P File # [Blank]

REQUIRED MAXIMUM THERMAL CHARACTERISTICS (CLIMATE ZONE 4) AS PER BCBC 9.36.2.7 TAB 2024	
DESCRIPTION	SPECIFICATION
WINDOWS	US11.44 (BRGC 0.28)
ENTRANCE DOORS	US11.04
ELECTRIC TANK	40-60 GALLON 0.09 EF
HEAT PUMP	HSFP 7.0, SEER 1.0 OR BETTER
VENTILATION	CONTINUOUS EXHAUST FAN ≥ 1 US



HEATING:
ELECTRIC HEAT PUMP

THESE PLANS CONFORM TO
REQUIREMENTS IN THE BCBC
2024

PROPOSED CARRIAGE HOUSE

223 HART STREET

COQUITLAM, B.C.

TITLE	SECTIONS AND DETAILS
SCALE	AS INDICATED
DATE	2025-05-14
DESIGNER	JACQUELINE CRUZ
PROJ. MANAGER	[Blank]

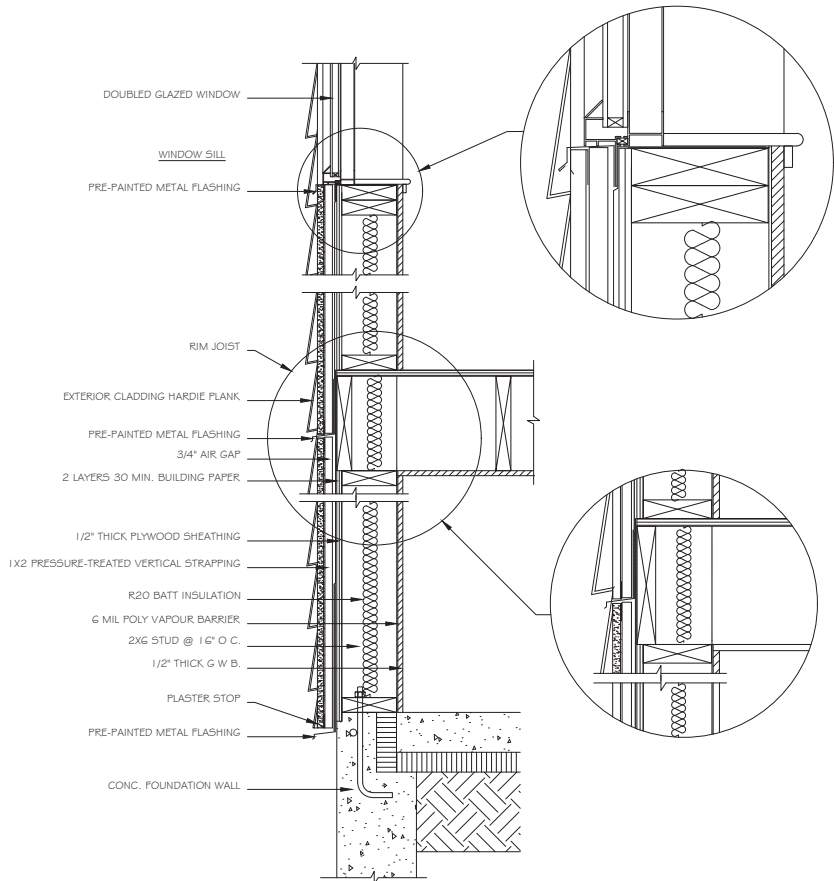
A4



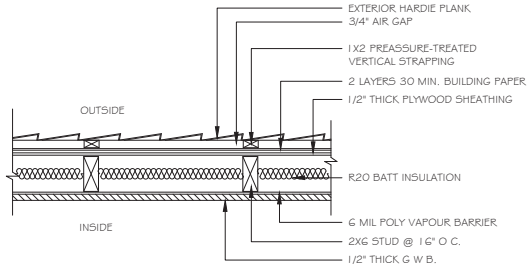
TEL: (604) - 905- 8800
EMAIL: info@corevalhomes.com

ADDRESS:
GUTHRIE RESIDENTIAL BUILDERS
102 - 12635 190A STREET
PITT MEADOWS, B.C. V3Y 0E8

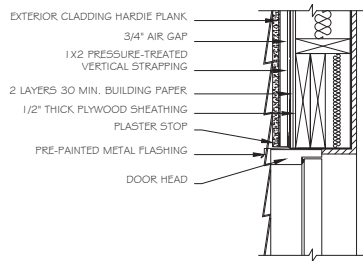
ROB FABIAN
GRB25-2012



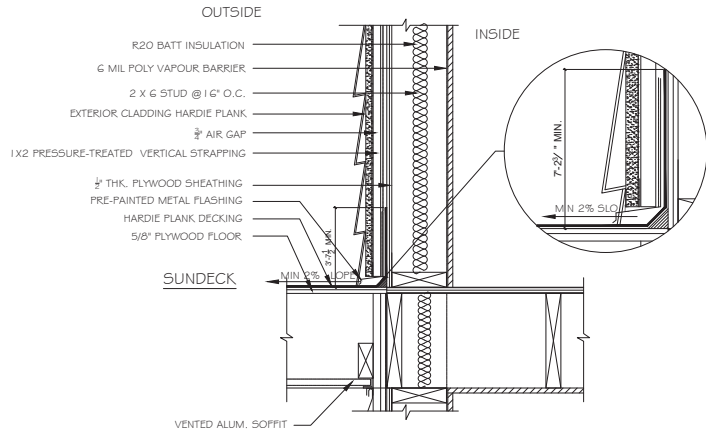
TYPICAL EXTERIOR WALL: VERTICAL SECTION
SCALE: NTS
BCBC REFERENCE: (9.27.2.2) (9.26.4.1) (9.27.3.8)



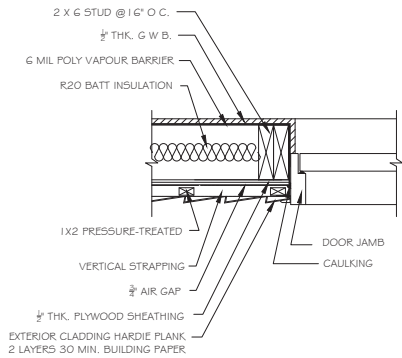
TYPICAL EXTERIOR WALL PLAN SECTION
SCALE: NTS



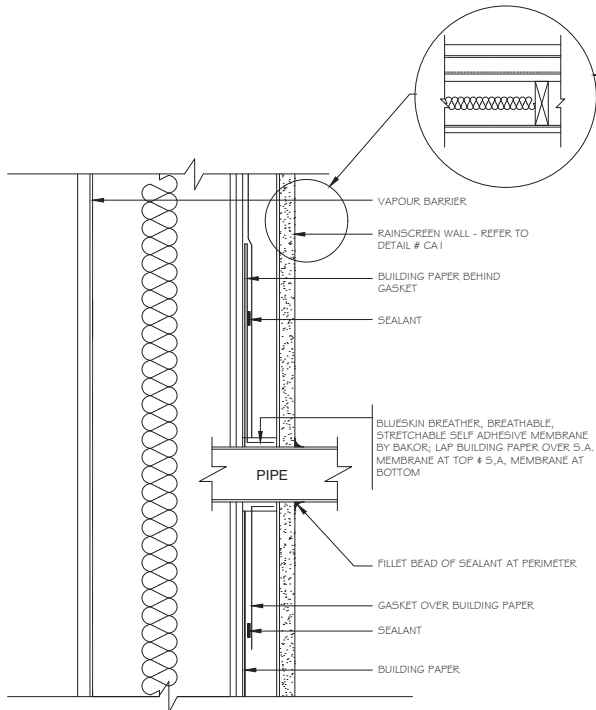
TYPICAL VERTICAL SECTION @ DOOR HEAD
SCALE: NTS



TYPICAL VERTICAL SECTION
@ DECK & EXT. WALL
SCALE: NTS

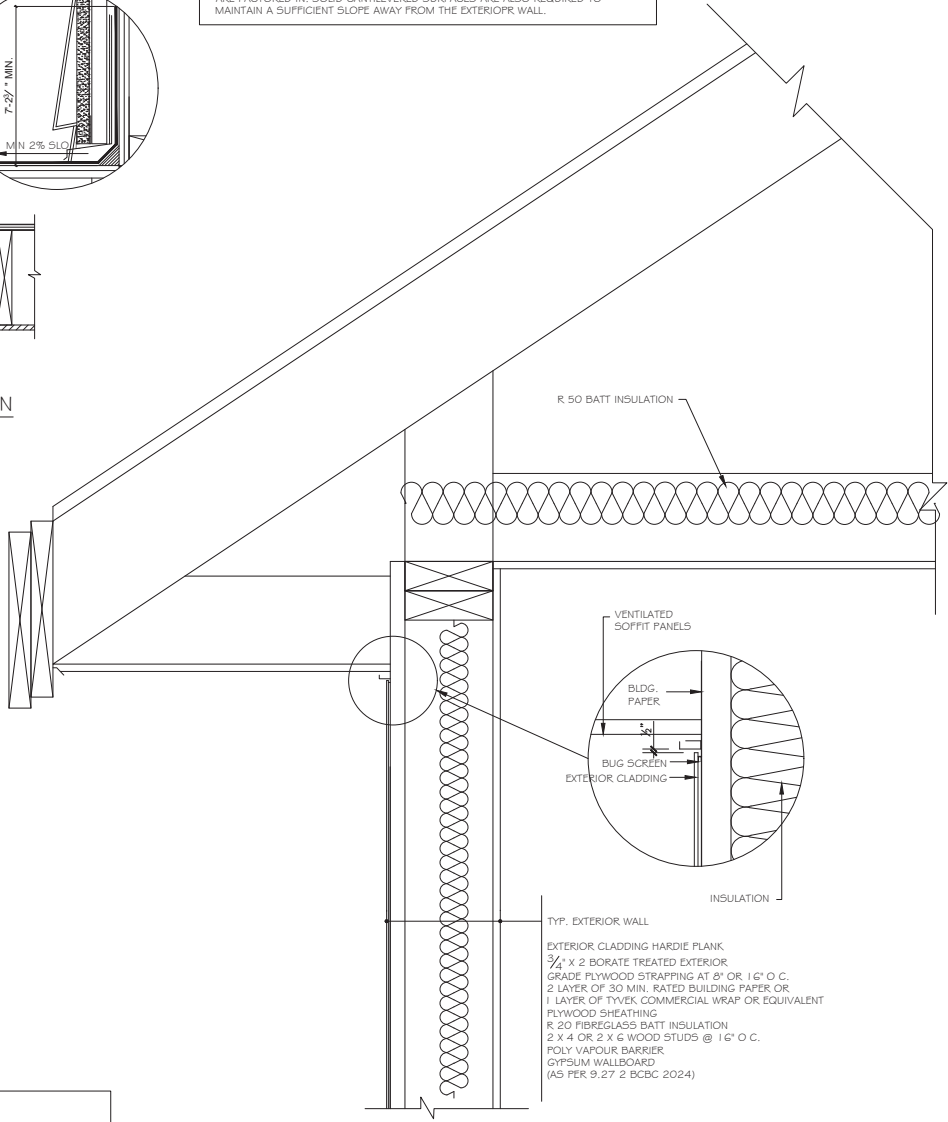


TYPICAL PLAN SECTION
@ DOOR JAMB
SCALE: NTS

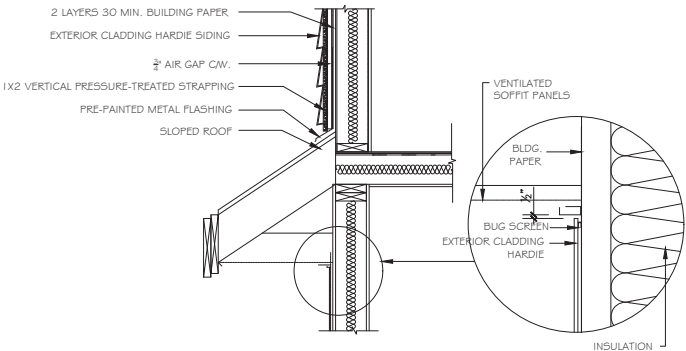


PIPE PROTRUSION
SCALE: NTS

SUFFICIENT SLOPE OF SURFACES, AS NOTED IN 9.26.3.1.(4), MUST BE MAINTAINED AFTER SHRINKAGE AND JOIST DEFLECTION OF THE SUPPORTING ELEMENTS ARE FACTORED IN. SOLID CANTILEVERED SURFACES ARE ALSO REQUIRED TO MAINTAIN A SUFFICIENT SLOPE AWAY FROM THE EXTERIOR WALL.



SOFFIT @ BUILDING WALL
SCALE: NTS



TYPICAL VERTICAL SECTION
@ LOW ROOF
SCALE: NTS

THESE PLANS CONFORM TO
REQUIREMENTS IN THE BCBC
2024

PROPOSED CARRIAGE HOUSE

223 HART STREET

COQUITLAM, B.C.

TITLE	RAINSCREEN DETAILS
SCALE	AS INDICATED
DATE	2025-05-15
DESIGNER	JAQUELINE CRUZ
PROJ. MANAGER	

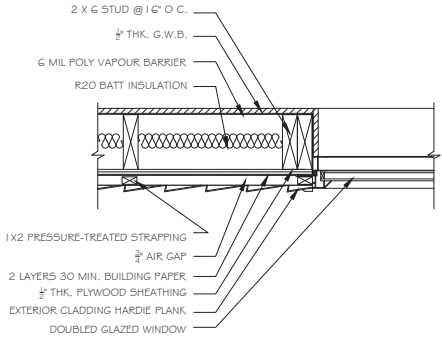
DI



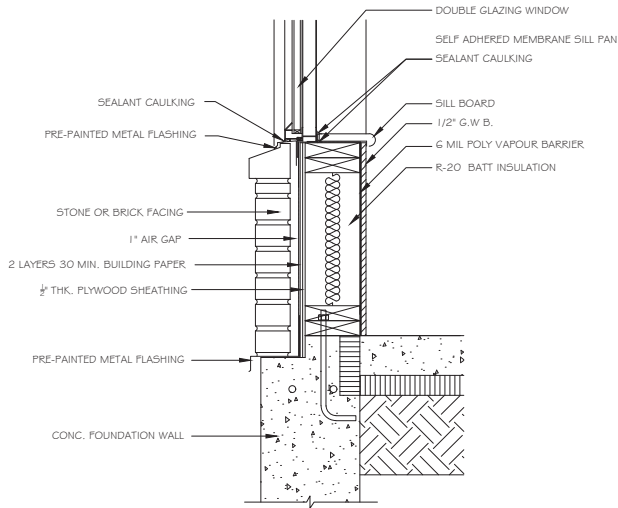
TEL: (604) - 905- 8800
EMAIL: info@corevalhomes.com

ADDRESS:
GUTHRIE RESIDENTIAL BUILDERS
102 - 12635 190A STREET
PITT MEADOWS, B.C. V3Y 0E8

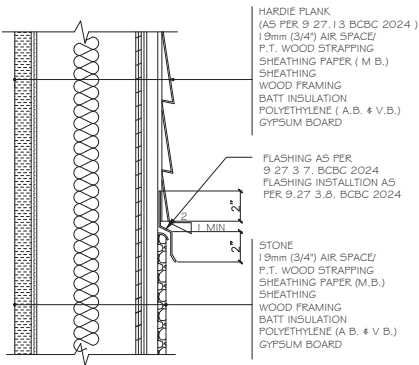
ROB FABIAN
GRB25-2012



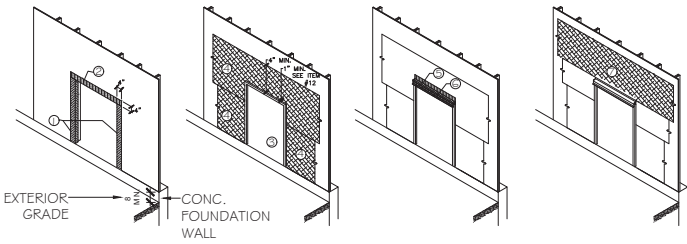
TYPICAL EXT. WALL
PLAN SECTION
SCALE:NTS



TYPICAL VERTICAL SECTION
@STONE OR BRICK FACING
SCALE:NTS



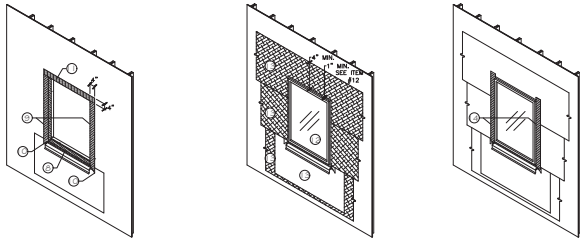
CLADDING-CLADDING OF
DIFF. MATERIALS
SCALE:NTS



CONSTRUCTION SEQUENCE:

1. SINGLE LAYER OF 30 MIN. SHEATHING PAPER TO WRAP JAMBS. PAPER TO EXTEND A MIN. 4" FROM THE ROUGH OPENING.
2. SINGLE LAYER OF 30 MIN. SHEATHING PAPER TO WRAP HEAD. PAPER TO EXTEND A MIN. 4" ABOVE THE ROUGH OPENING.
3. INSTALL THE DOOR FRAME INTO THE ROUGH OPENING; BACK CAULK NAILING FLANGES.
4. INSTALL 2 PLYS OF SHEATHING PAPER TO THE WALL AREA. THE PAPER IS TO BE INSTALLED AT LEAST 4" ABOVE THE DOOR HEAD BUT NO MORE THAN 10".
5. INSTALL NEW PRE-FINISHED 26 Ga. METAL FLASHING, WITH END DAMS, TO THE DOOR HEAD.
6. THE FLASHING IS TO HAVE A MIN. 1.2" HEMMED DRIP EDGE.
7. THE WALL SHEATHING PAPER ABOVE THE DOOR HEAD IS TO BE LAPPED ONTO THE HEAD FLASHING.

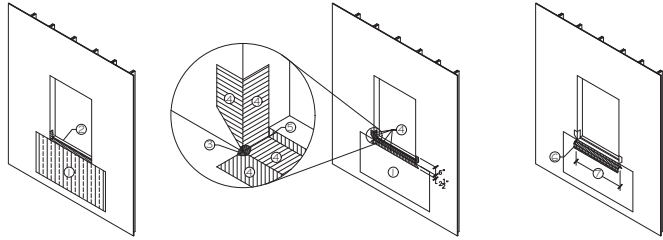
DOOR FRAME INSTALLATION SEQUENCING (NOT TO SCALE)
BCBC REFERENCE: (9.7.1.3)



CONSTRUCTION SEQUENCE:

8. PROVIDE 1/4" TO 3/8" PLASTIC SHIMS FOR WINDOW SETTING.
9. SINGLE LAYER OF 30 MIN. SHEATHING PAPER TO WRAP JAMBS. PAPER TO EXTEND A MIN. 4" FROM THE ROUGH OPENING.
10. CUT PAPER AT A DOWNWARD DIAGONAL TO ENSURE FULL COVERAGE AT GUSSETED CORNERS.
11. SINGLE LAYER OF 30 MIN. SHEATHING PAPER TO WRAP HEAD. PAPER TO EXTEND A MIN. 4" ABOVE THE ROUGH OPENING.
12. INSTALL THE WINDOW INTO THE ROUGH OPENING; BACK CAULK NAILING FLANGES.
13. INSTALL 2 PLYS OF SHEATHING PAPER TO THE WALL AREA. THE PAPER IS TO BE INSTALLED AT LEAST 4" ABOVE THE WINDOW HEAD BUT NO MORE THAN 10". THE SHEATHING PAPER IS TO BE TRIMMED TO EXPOSE 1" OF THE WINDOW NAILING FLANGE TO ALLOW FOR MEMBRANE ADHESION AT THE JAMBS. THE TWO PLYS OF SHEATHING PAPER MUST TUCK UNDER THE PRE-STRIPPING APPLIED IN #1.
14. AFTER THE 2-PLY OF PAPER HAVE BEEN INSTALLED, SELF-ADHERED MEMBRANE IS TO BE APPLIED TO THE JAMBS OF THE WINDOW UNIT. THE MEMBRANE IS TO BE APPLIED ONTO THE SHEATHING PAPER AND WINDOW FLANGE. WHERE THE SELF-ADHERED MEMBRANE IS TO BE INSTALLED THE AREA SHOULD BE PRIMED WITH THE MANUFACTURER'S RECOMMENDED PRIMER.

WINDOW INSTALLATION SEQUENCING (NOT TO SCALE)
BCBC REFERENCE: (9.7.1.3)



CONSTRUCTION SEQUENCE:

1. APPLY A SINGLE LAYER OF 30 MIN. SHEATHING PAPER TO THE WINDOW SILL ROUGH OPENING. FOR ALL PRESTRIPPING, ONLY A SINGLE LAYER OF 30 MIN. SHEATHING PAPER IS REQUIRED IN ALL LOCATIONS.
2. INSTALL A 3/4"x3/4" 22 Ga. ANGLE TO PROVIDE AN UPTURN FOR THE MEMBRANE.
3. WEDGE-SHAPED SELF-ADHERED MEMBRANE GUSSET APPLIED TO THE OUTSIDE CORNER.
4. SELF-ADHERED MEMBRANE APPLIED ON TOP OF THE WINDOW SILL STRIPPING, INTO ROUGH OPENING, 6" UP THE JAMBS AND WRAPPED ONTO THE FRONT FACE OF THE ROUGH OPENING, AND TURNED UP ONTO EDGE OF SILL ANGLE (ALL OF THIS IS DONE WITH ONE CONTINUOUS PIECE OF MEMBRANE, MAKING RELIEF CUTS WHERE APPROPRIATE.) MEMBRANE TO EXTEND BELOW ROUGH OPENING SILL BY 3". CUT THE MEMBRANE AT A 45° ANGLE WHERE IT IS TO GO UP THE JAMB AND WRAP ONTO THE FRONT FACE.
5. NO CUTS WILL BE MADE AT THIS INSIDE CORNER. THE MEMBRANE WILL BE FOLDED AS SHOWN TO MAINTAIN A CONTINUOUS END DAM AND TO AVOID CREATING A VULNERABLE "FIN HOLE" AT THE CORNER.
6. INSTALL SILL FLASHING, *dw* END DAMS.
7. FLASHING TO EXTEND PAST WINDOW ROUGH OPENING 1/2" ON BOTH SIDES.

CONSTRUCTION SEQUENCE:

15. INSTALL NEW PRE-FINISHED 26 Ga. METAL FLASHING, WITH END DAMS, TO THE WINDOW HEAD.
16. THE FLASHING IS TO HAVE A MIN. 1/2" HEMMED DRIP EDGE.
17. THE WALL SHEATHING PAPER ABOVE THE WINDOW HEAD IS TO BE LAPPED ONTO THE HEAD FLASHING.
18. INSTALL FURRING.

THESE PLANS CONFORM TO
REQUIREMENTS IN THE BCBC
2024

PROPOSED CARRIAGE HOUSE

223 HART STREET

COQUITLAM, B.C.

TITLE	RAINSCREEN DETAILS
SCALE	AS INDICATED
DATE	2025-05-15
DESIGNER	JAQUELINE CRUZ
PROJ. MANAGER	

D2

CLIMATE ZONE 4

AS PER SECTION 9.36.2.1.0.
NOTES PERTAINING TO LEAKAGE PATHS
IN PROBLEMATIC AIR BARRIERS

-FOUNDATION TO SILL PLATE AND RIM JOISTS

ALL JOINTS AT THE TRANSITION BETWEEN THE FOUNDATION WALL AND THE ABOVE GRADE WALL MUST BE MADE AIR-TIGHT BY SEALING ALL JOINTS AND JUNCTIONS BETWEEN THE STRUCTURAL COMPONENTS, OR COVERING THE STRUCTURAL COMPONENTS WITH AN AIR BARRIER MATERIAL

-INTERIOR WALL INTERFACE

INTERIOR WALLS THAT MEET EXTERIOR WALLS OR CEILINGS WITH AN INTERIOR PLANE OF AIR TIGHTNESS MUST BE MADE AIRTIGHT BY EITHER SEALING ALL JUNCTIONS BETWEEN THE STRUCTURAL COMPONENTS, COVERING THE STRUCTURAL COMPONENTS WITH AN AIR BARRIER MATERIAL, OR MAINTAINING THE CONTINUITY OF THE AIR BARRIER SYSTEM THROUGH THE INTERIOR WALL

-RIM JOIST

ALL JOINTS AT THE RIM JOIST ASSEMBLY MUST BE MADE AIRTIGHT BY SEALING ALL JOINTS AND JUNCTIONS BETWEEN THE STRUCTURAL COMPONENTS, OR COVERING THE STRUCTURAL COMPONENTS WITH AN AIR BARRIER MATERIAL

-CANTILEVERED FLOOR

CANTILEVERED FLOORS AND FLOORS OVER UNHEATED SPACES/EXTERIOR SPACE MUST BE MADE AIRTIGHT BY SEALING ALL JOINTS AND JUNCTIONS BETWEEN THE STRUCTURAL COMPONENTS AND/OR COVERING THE STRUCTURAL COMPONENTS WITH AN AIR BARRIER MATERIAL AND SEALING IT TO THE ADJACENT AIR BARRIER MATERIAL

-WINDOW HEAD

THE INTERFACE BETWEEN WINDOW HEAD/JAMB AND WALL ASSEMBLY MUST BE MADE AIRTIGHT BY SEALING ALL JOINTS AND JUNCTIONS BETWEEN THE AIR BARRIER IN THE WALL AND WINDOW. THE REQUIREMENT ALSO APPLIES TO DOORS AND SKYLIGHTS

-WINDOW SILL

THE INTERFACE BETWEEN WINDOW SILL AND WALL ASSEMBLY MUST BE MADE AIRTIGHT BY SEALING ALL JOINTS AND JUNCTIONS BETWEEN THE AIR BARRIER MATERIAL IN THE WALL AND THE WINDOW. THE REQUIREMENT ALSO APPLIES TO DOORS AND SKYLIGHTS

-MECHANICAL FLUES AND CHIMNEYS

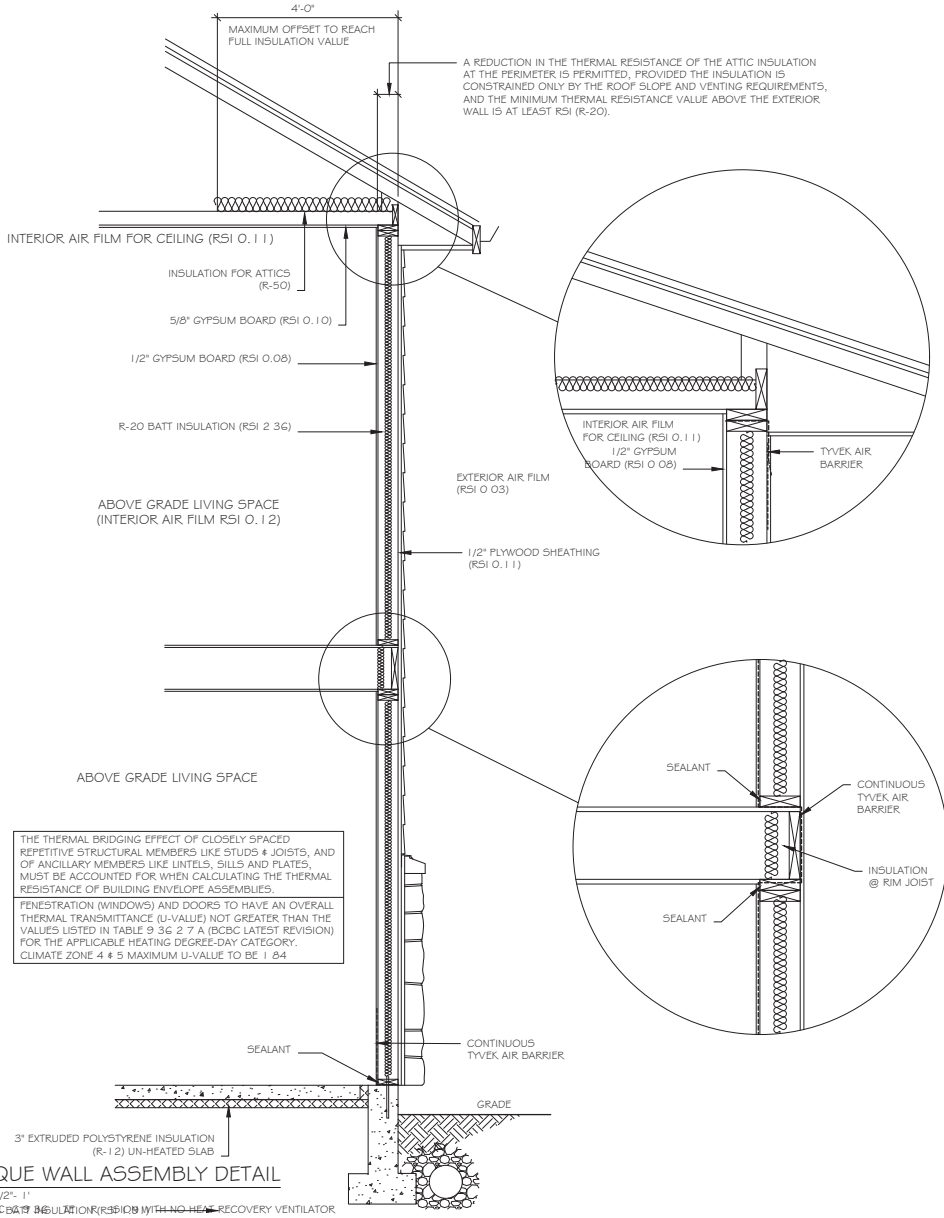
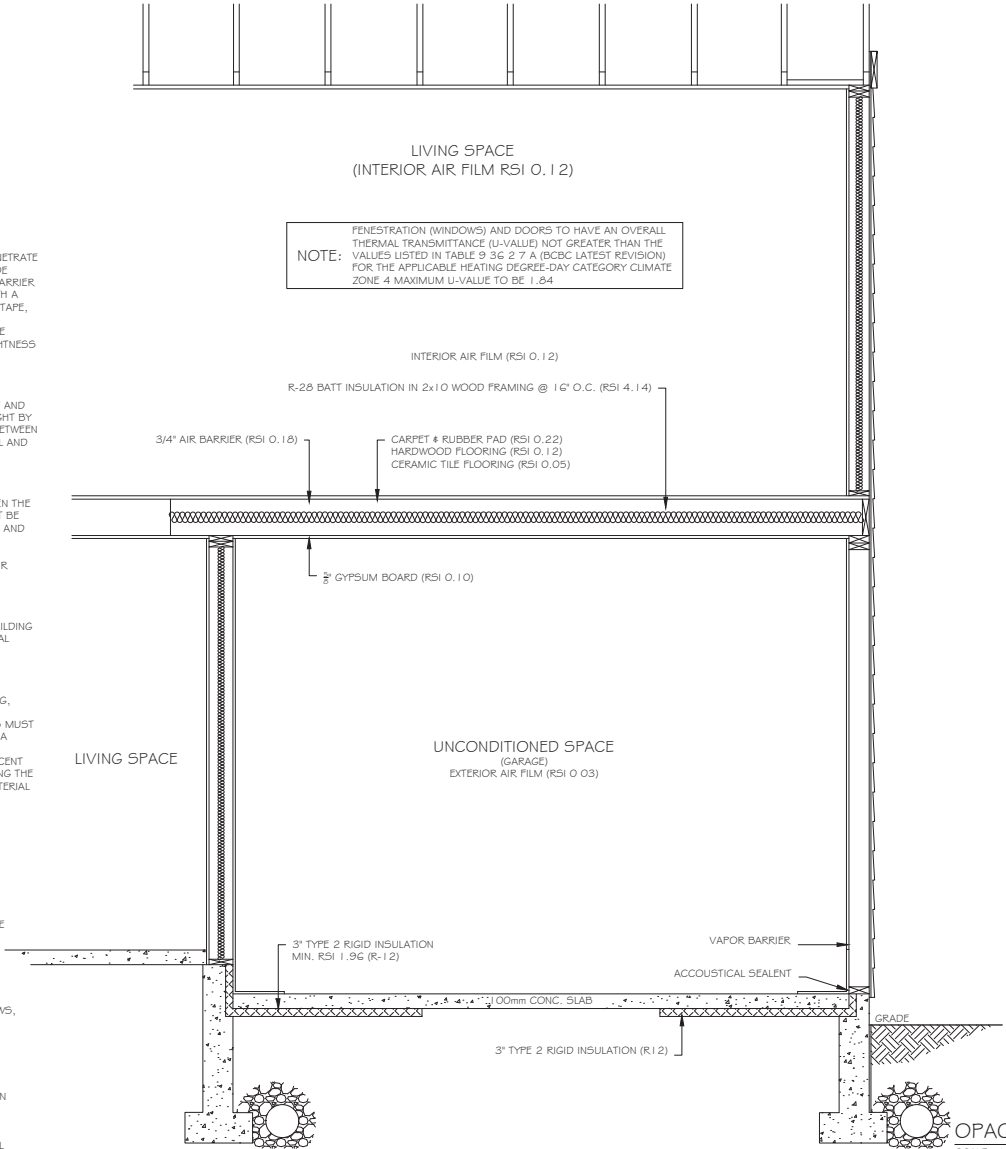
STEEL-LINED CHIMNEYS THAT PENETRATE THE BUILDING ENVELOPE MUST BE MADE AIRTIGHT BY BLOCKING THE VOID BETWEEN REQUIRED CLEARANCES FOR METAL CHIMNEYS AND SURROUNDING CONSTRUCTION WITH SHEET METAL AND SEALANT CAPABLE OF WITHSTANDING HIGH TEMPERATURES

SPECIFIC REQUIREMENTS

- EFFECTIVE INSULATION OF CEILINGS, WALLS AND FLOORS MEET THE REQUIREMENTS OF TABLE 9.36.2.6.A AND TABLE 9.36.2.6.B FOR THE CORRECT CLIMATE ZONE
- THE THERMAL CHARACTERISTICS OF WINDOWS, DOORS AND SKYLIGHTS MEET THE REQUIREMENTS OF TABLE 9.36.2.7.A.B, AND C FOR THE CORRECT CLIMATE ZONE
- ALL NEW WINDOWS, DOORS AND SKYLIGHTS TO CONFORM TO AAMAWDMACSA 101/1.5 2/A440, "NAFS - NORTH AMERICAN PENETRATION STANDARDS/SPECIFICATION FOR WINDOWS, DOORS AND SKYLIGHTS" AND A440S1, "CANADIAN SUPPLEMENT TO AAMAWDMACSA 101/1.5 2/A440, "NAFS - NORTH AMERICAN PENETRATION STANDARDS/SPECIFICATION FOR WINDOWS, DOORS AND SKYLIGHTS"
- EFFECTIVE INSULATION OF FOUNDATIONS MEET THE REQUIREMENTS OF TABLE 9.36.2.8.A OR B FOR THE CORRECT CLIMATE ZONE
- DUCTS LOCATED OUTSIDE THE THERMAL ENCLOSURE ARE SEALED AND INSULATED TO THE EXTERIOR WALL INSULATION REQUIREMENTS
- DAMPERS ARE INSTALLED AT AIR INLETS AND EXHAUSTS WHERE REQUIRED
- PIPING FOR HEATING OR COOLING SYSTEMS IS LOCATED WITHIN THE THERMAL ENCLOSURE OR ARE FULLY INSULATED
- HVAC EQUIPMENT IS LOCATED WITHIN THERMAL ENCLOSURE OR DESIGNATED TO BE INSTALLED OUTSIDE OF THERMAL ENCLOSURE
- TEMPERATURE CONTROLS ARE INSTALLED ON HEATING AND COOLING EQUIPMENT
- INDOOR POOLS ARE COVERED OR HAVE AN HRV/DEHUMIDIFIER
- HVAC AND SWH EQUIPMENT MEET MINIMUM PERFORMANCE REQUIREMENTS DETERMINED IN TABLES 9.36.3.1.0. AND 9.36.4.2
- SERVICE WATER HEATING PIPES ARE INSULATED AT THE INLET AND OUTLET OF STORAGE TANKS
- SERVICE WATER HEATERS HAVE TEMPERATURE CONTROLS
- THE AIR BARRIER DETAILS, AND LOCATIONS HAVE BEEN IDENTIFIED

TEMPERATURE CONTROLS AS PER SECTION 9.36.3.6

-TEMPERATURE CONTROLS ARE GENERALLY REQUIRED FOR HEATING AND COOLING EQUIPMENT, THE ACCURACY OF THE CONTROL MUST BE BETTER THAN PLUS OR MINUS 0.5 DEGREES CELSIUS



Checklist Last Updated: 2025-05-14

ENERGY STEP CODE BC STEP CODE COMPLIANCE CHECKLIST - PERFORMANCE PATHS FOR PART 9 BUILDINGS

A: PROJECT INFORMATION

Building Permit #: _____

Builder: Coreval Homes

Project Address: 223 Hart St

Municipality / District: Coquitlam

Postal Code: V3K 4A2

PID or Legal Description: 012-096-056

Pre Construction

Building Type: Lane-way House

of Dwelling Units: 1

B: CODE COMPLIANCE SUMMARY

BC Building Code Performance Compliance Path:
9.36.6. BC Energy Step Code ERS

Energy Step Code Step Required	Zero Carbon Step Code Level Required
3	EL 1 - Measure Only

Proposed Step Achieved

Energy Step Code Step Achieved	Zero Carbon Step Code Level Achieved
3	EL 1 - Measure Only

Based on info provided by the builder & the following drawings:

Plan Author: _____

Plan Version: Same as date below

Plan Date: March 20, 2025

C: COMPLETED BY

Full Name (Print): Peter Cho

Company Name: City Green Solutions

Address: 214-400 View St, Victoria, BC V8W 1A8

Phone: 778-516-9953

Email: peter.cho@citygreen.ca

Date (YYYY-MM-DD): 2025-05-14

Service Organization: 25-City Green Solutions

Energy Advisor ID #: 7523

COSECO placed in Field 8 of HDR: x

P File # _____

Checklist Last Updated: 2025-05-14

D: BUILDING CHARACTERISTICS SUMMARY		
	Details (Assembly / System Type / Fuel Type / Etc.)	Average Effective RSI
Roof / Ceilings	2x4 truss, 24" oc w/R20 batt or blow-in	5.08 RSI
Above Grade Walls	2x6, 16" oc w/R20 batt	3.08 RSI
Rim Joists / Floor Headers and Lintels	R20 batt	5.08 RSI
Floors Over Unheated Space	2x11-7/8 TJI w/R28 batt	RSI 5.55
Walls Below Grade		
Slabs	3" EPS rigid board R12 under garage slab	2.11
Windows and glazed doors	Vinyl framed double-glazed window with low-e and argon filled	Performance Values USI 1.44 SHGC 0.25
Doors	Fiberglass frame, foam-core insulated units	USI 1.84
Air Barrier System & Location	6 mil poly, taped and sealed	ACH 2.50 NL A 0.58 NL R 0.42
Space Heating/ Cooling	Principal Electric forced air heat pump for heating & cooling Supplementary -	HSPF >7.5 SEER >15
Domestic Hot Water	Electric storage tank: 40-50 gallon capacity	EF 0.89
Ventilation	continuous bathroom exhaust fan	% EFF L/s N/A 21.00
Other		
Fossil Fuels	The building including all units is designed with NO fossil fuel use or infrastructure	



TEL: (604) - 905- 8800
EMAIL: info@corevalhomes.com

ADDRESS:
GUTHRIE RESIDENTIAL BUILDERS
102 - 12635 190A STREET
PITT MEADOWS, B.C. V3Y 0E8

ROB FABIAN
GRB25-2012

THESE PLANS CONFORM TO
REQUIREMENTS IN THE BCBC
2024

PROPOSED CARRIAGE HOUSE

223 HART STREET

COQUITLAM, B.C.

TITLE	ENERGY EFFICIENCY DETAILS
SCALE	AS INDICATED
DATE	2025-05-15
DESIGNER	JAQUELINE CRUZ
PROJ. MANAGER	

D3

Attachment 3

